

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: SPECIFICATION SHEET		Drawing No: Sheet 01		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS, AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE PROJECT MANAGER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE CONTRACTOR. ALL BENCHMARKS ARE TO BE CONFIRMED FOR LEVEL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.
- TBM'S AND LEVELS ARE SHOWN TO AHD. CONTRACTOR TO PERFORM QUALITY CONTROL SURVEY AND MAINTAIN IT DURING THE EXTENT OF THE CONSTRUCTION PERIOD.
- THE LOCATION OF ALL EXISTING SERVICES HAVE BEEN OBTAINED FROM THE AVAILABLE AUTHORITY RECORDS. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVE ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOWERING AND REALIGNMENT OF MINOR DISTRIBUTION SERVICES IN CONSULTATION WITH THE RELEVANT CODE OF PRACTICE STIPULATED BY THE ASSET OWNER. ALL EXISTING STREET SIGNS TO BE REINSTATED AS REQUIRED.
- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND TO THE SATISFACTION OF THE SUPERINTENDENT, COUNCIL, AND THE SERVICE AUTHORITIES. THE SUPERINTENDENT SHALL CARRY OUT REGULAR SITE INSPECTIONS. THE CONTRACTOR SHALL NOTIFY COUNCIL 7 DAYS PRIOR TO COMMENCEMENT OF WORKS.
- THE CONTRACTOR IS TO SUBMIT AN ENVIRONMENTAL MANAGEMENT PLAN IDENTIFYING THE RISKS ASSOCIATED WITH THE WORKS AND CONTROL MEASURES FOR APPROVAL, PRIOR TO COMMENCING WORKS ON SITE. THE EMP MUST COMPLY WITH ALL STATUTES, BY-LAWS, STANDARDS, AND SECTION 6.3 OF URBAN STORMWATER – BEST PRACTICE ENVIRONMENTAL MANAGEMENT GUIDELINES. THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION, AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE 'GUIDELINES FOR ENVIRONMENTAL MANAGEMENT – DOING IT RIGHT ON SUBDIVISIONS'.
- ANY STRUCTURES, PAVEMENTS OR SURFACE DAMAGED, DIRTIED OR MADE UNSERVICEABLE DUE TO CONSTRUCTION WORK SHALL BE REINSTATED TO THE SATISFACTION OF THE SUPERINTENDENT. ALL MATERIAL ASSETS MODIFIED OR DAMAGED BY THE PROPOSED WORKS ARE TO BE REINSTATED TO THE SATISFACTION OF THE RELIANT CITY COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES BY SETTLEMENT SUBSIDENCE OR REMOVAL SUPPORT CONSEQUENT UPON OPERATION UNDER THE CONTRACT AND SHALL MAKE GOOD ALL DAMAGES AT THEIR OWN COST.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT LOCAL COUNCIL'S STANDARD DRAWINGS AND TO THE SATISFACTION OF THE COUNCIL SUPERVISING ENGINEER.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS4300 AND WITH THE PLANS APPROVED BY THE LOCAL CITY COUNCIL.
- ANY VARIATION TO THE DETAILS SHOWN ON THE DRAWINGS MUST BE AUTHORISED BY THE SUPERINTENDENT PRIOR TO FABRICATION AND/OR CONSTRUCTION
- ALL CONSTRUCTION WORKS SHALL BE RESTRICTED TO THE HOURS AS ADVISED BY THE SUPERINTENDENT
- THE CONTRACTOR SHALL NOT ENTER OR WORK IN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNERS OR RESPONSIBLE AUTHORITIES.
- ALL NEW WORKS TO HAVE A SMOOTH JUNCTION WITH EXISTING WORK
- ALL PROPERTY ITEMS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS. ANY ALTERNATIVE PRODUCTS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO CARRY OUT ALL WORKS WITH ADEQUATELY SKILLED, TRAINED, AND QUALIFIED TRADE WORKERS.
- IT IS THE MAIN CONTRACTORS RESPONSIBILITY TO SUPPLY THE RELEVANT NOTES, SPECIFICATIONS, AND DRAWINGS TO ALL SUB-CONTRACTORS.
- TRAFFIC CONTROL MEASURES ARE TO BE IMPLEMENTED AT ALL TIMES IN ACCORDANCE WITH AS2543. A SITE SAFETY PLAN IS TO BE PREPARED BY THE CONTRACTOR IN ACCORDANCE WITH THE RELEVANT STANDARDS.
- THE CONTRACTOR IS TO ENSURE THE SITE IS KEPT AT CONSISTENTLY CLEARED OF RUBBISH AND IS MAINTAINED IN A SAFE AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- THE CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE LATEST OCCUPATIONAL HEALTH AND SAFETY ACT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FENCING TO THE SATISFACTION OF THE SUPERINTENDENT DURING THE CONTRACT TO PREVENT UNAUTHORISED ENTRY INTO THE SITE. WITH CONTRACTOR SHALL ALSO REMOVE TEMPORARY FENCING ON COMPLETION OF THE WORK.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
- ROADS ADJOINING THE SITE MUST BE KEPT CLEAN AND FREE OF ALL EXCAVATED/TRANSPORTED SPOIL MATERIAL.

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY MSL CONSULTING ENGINEERS

EARTHWORKS

- THE CONTRACTOR SHALL INSTALL EFFECTIVE EROSION AND SEDIMENTATION CONTROL MEASURES TO THE SATISFACTION OF THE SUPERINTENDANT PRIOR TO COMMENCING EARTHWORKS. THESE MEASURES SHALL BE MAINTAINED FOR THE DURATION OF THE CONTRACT.
- ADEQUATE DRAINAGE OF ALL WORKING AREAS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION TO ENSURE RUN-OFF OF WATER WITHOUT PONDING, EXCEPT WHERE PONDING FORMS PART OF AN APPROVED EROSION AND SEDIMENTATION CONTROL SYSTEM.
- THE CONTRACTOR SHALL OBTAIN THE WRITTEN CONSENT OF THE SUPERINTENDANT OR THE USE OF ANY STOCKPILE WITE WHICH IS NOT SHOWN ON THE DRAWINGS. PROPOSAL IN THIS REGARD SHALL BE SUBMITTED AT LEAST THREE WORKING DAYS BEFORE STOCKPILING IS DUE TO COMMENCE AND SHALL SPECIFY THE MAXIMUM DIMENSIONS OF THE PROPOSAL.
- COMPACTION OF ALL MATERIALS INCLUDING ROAD SURFACES SHALL BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND AS3610 CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- ALL CONCRETE TO BE 32 MPa WITH A MAXIMUM SLUMP OF 80mm, AND MAXIMUM AGGREGATE SIZE OF 20mm UNO.
- CONCRETE SHALL BE PLACED IN A MANNER THAT AVOIDS SEGREGATION. CONCRETE SHALL NOT BE PLACED IF THE AMBIENT AIR TEMPERATURE IS LESS THAN 5 °C OR GREATER THAN 35 °C. ADDITIONAL PRECAUTIONS MAY NEED TO BE TAKEN IN WINDY CONDITIONS AND/OR TEMP. ABOVE 30°C.
- THE CONTRACTORS SHALL SUBMIT PROPOSED CURING METHODS FOR THE ENGINEERS WRITTEN APPROVAL PRIOR TO CONCRETE POUR.
- REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT INSPECTION & PERMISSION OF THE ENGINEER.
- CONCRETE FORMED SURFACE TO HAVE FINISHED IN ACCORDACE WITH AS 3610 OR AS SPECIFIED OTHERWISE.

STORMWATER DRAINAGE

- ALL STORMWATER WORKS ARE TO BE UNDERTAKEN GENERALLY IN ACCORDANCE WITH AS3500 (LATEST EDITION) STORMWATER DRAINAGE
- PIPES OF 300mm DIA. AND UNDER SHALL BE UPVC TO AS 1254.
- PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS 1342, RUBBER RING JOINTED UNO.
- PIPES UP TO 150mm DIA. SHALL BE LAID AT A MINIMUM GRADE OF 1.0%. PIPES 225mm DIA. AND OVER TO BE LAID AT A MINIMUM GRADE OF 0.5%. UNO. BEDDING MATERIAL TO AS 2032 OR AS 3725 AS APPROPRIATE.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 450mm IN CARPARK & ROADWAY AREAS UNO.
- UNLESS NOTED OTHERWISE, ALL CONCRETE PIPE ARE TO BE CLASS 2 AND RUBBER RING JOINTED. RUBBER RINGS SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AS164 (LATEST EDITION). THE EXCAVATED TRENCH WIDTH FOR PIPE LAYING MUST BE AT LEAST 400mm WIDER THAN THE OUTER DIAMETER OF THE PIPE. PIPES ARE TO BE LAID CENTRALLY WITHIN THE EXCAVATED TRENCH.
- ALL PIPEWORK SHALL BE BEDDED ON A CONTINUOUS UNDERLAY OF SAND, NOT LESS THAN 75mm THK. IN OTHER THAN ROCK AND 200mm THK. IN ROCK AFTER COMPACTION. THE SAND SHALL BE GRADED IN ACCORDANCE WITH AS3500 AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AND SHALL BE GRADED EVENLY WITH THE ADDITIONAL BEDDING.
- THE BED AND HAUNCH MATERIAL SHALL BE COMPACTED FOR THE FULL WIDTH OF THE TRENCH BY A MINIMUM OF TWO PASSES OF A VIBRATING PLATE OR HAND TAMPING METHODS TO THE SATISFACTION OF THE SUPERINTENDENT.
- CHASES SHALL BE FORMED WHERE NECESSARY TO PREVENT SOCKETS, FLANGES OR THE LIKE FROM BEARING ON THE BOTTOM OF THE TRENCH.
- THE CONTRACTOR MUST LEAVE ALL STORMWATER DRAINAGE WORKS UNCOVERED UNTIL ANY TESTING DEEMED NECESSARY BY THE SUPERINTENDENT HAS BEEN PERFORMED.
- THE CONTRACTOR SHALL ENSURE THAT ANY EXISTING STRUCTURES LOCATED ADJACENT TO EXCAVATED TRENCHES ARE SUPPORTED OR PROTECTED TO PREVENT DAMAGE TO OR MOVEMENT TO THESE STRUCTURES.
- PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET ENDS OF THE PIPE FACING UPSTREAM. THE BARREL OF EACH PIPE SHALL BE IN CONTACT WITH THE BEDDING MATERIAL THROUGHOUT ITS FULL LENGTH.
- FOR RUBBER RING JOINTS THE PIPE ENDS SHALL BE TIGHTLY JOINED WITH THEIR INNER SURFACES AT THE MANUFACTURES NOMINATED LAYING GAP.
- LIFTING HOLES IN PIPES SHALL BE PLUGGED WITH MORTAR, PRECAST TAPERED PLUGS, OR TAPE SURROUNDINGS OR OTHER APPROVED MEANS PRIOR TO BACKFILL MATERIAL BEING PLACED.
- CUTTING OPERATIONS FOR CONCRETE PIPES SHALL PROVIDE NEAT END SURFACES. THE CUT SURFACES SHALL BE GIVEN TWO COATS OF A APPROVED EPOXY PAINT.
- COMPLETED CEMENT MORTAR JOINTS SHALL BE KEPT DAMP AND PROTECTED FROM THE DIRECT RAYS OF THE SUN UNTIL BACKFILLED.
- DRAINAGE LINES SHALL BE CONSTRUCTED TO THE TOLERANCES IN ACCORDANCE WITH THE RELIANT AUSTRALIAN STANDARDS, SUPERINTENDENTS SPECIFICATIONS AND THE MANUFACTURES SPECIFICATIONS.
- BACKFILL MATERIAL SHALL BE INSPECTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO PLACING AND COMPACTION
- ALL BACKFILL FOR STORMWATER DRAINAGE WORKS IS TO BE COMPACTED IN LAYERS NOT EXCEEDING 30mm LOOSE THICKNESS AND COMPACTED WITHOUT DAMAGING OR DISPLACING THE PIPEWORK.
- STEP IRONS AT SPACINGS OF 300m ARE TO BE PROVIDED IN DRAINAGE PITS MORE THAN 1.2m DEEP.
- PROVIDE 3.0m LENGTH OF ø100 SUBSOIL DRAINAGE PIPE WRAPPED IN FABRIC SOCK AT UPSTREAM END F EACH PIT.
- UNLESS OTHERWISE SPECIFIED, ALL DRAINAGE GRATES TO BE CLASS "C" GALVANISED MILD STEEL TO AS 3996 (LATEST EDITION)
- UPVC PIPES SHALL BE TRANSPORTED. HANDLED, AND STORED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS
- UPVC PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET END OF THE PIPE FACING UPSTREAM. WHEN THE PIPES ARE LAID, THE BARREL OF EACH PIPE SHALL BE IN CONTACT WIT THE BEDDING MATERIAL THROUGHOUT ITS FULL LENGTH.
- THE UPVC PIPE ENDS SHALL BE THOROUGHLY CLEANED BEFORE THE JOINT IS MADE. JOINTING SHALL BE IN ACCORDANCE WIT THE MANUFACTURES SPECIFICATIONS WITH JOINTING SOLVENT AND PRIMER.

EROSION, SEDIMENT AND SITE MANAGEMENT

- EC01 ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS. THE LOCATION OF SUCH DEVICES (SHOWN ON THIS DRAWINGS) IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
- EC02 SURPLUS TOPSOIL SHALL BE STOCKPILED WHERE DIRECTED. DIVERSION BANKS ARE TO BE PLACED UPSTREAM AND SHALL DISCHARGE TO SEDIMENT BARRIERS. ALL STOCKPILES ARE TO BE VEGETATED WITHIN 14 DAYS OF FORMATION. SILT FENCES ARE TO BE PLACED ON THE DOWNSTREAM FACE.
- EC03 DURING TRENCH EXCAVATION ALL SPOIL SHALL BE MOUNDED ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENTS.
- EC04 PROVIDE SEDIMENT TRAPS TO ALL INLET PITS.
- EC05 ALL TURF SODS AND SEEDED AREAS ARE TO BE WATERED AND FERTILISED AS DIRECTED.
- EC06 ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE CLEARED OF DEPOSITED SILT AND MAINTAINED TO THE SATISFACTION OF THE SUPERINTENDENT.
- EC07 GENERALLY BARRIERS SHOULD BE PLACED APPROXIMATELY 5.0 METRES OUTSIDE POTENTIAL DISTURBED AREAS.
- EC09 A LOG BOOK OR OTHER SUITABLE RECORDS MUST BE KEPT BY THE SITE SUPERVISOR IN ACCORDANCE WITH THE EPA'S REQUIREMENTS.
- EC08 CONTRACTOR TO FOLLOW THE RECOMMENDED SEQUENCE OF OPERATIONS AS SPECIFIED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT IN THE BROCHURE "PREPARING SOIL AND WATER MANAGEMENT PLANS".
- EC10 BUILDER IS TO CONDUCT WORKS IN ACCORDANCE WITH COUNCILS CONDITION TO DUST SUPPRESSION AND SEDIMENT REMOVAL MEASURES.
- EC11 BUILDER TO CONFIRM LOCATION OF STOCKPILES, FENCING, STABILISED ACCESS ETC. ON COMMENCEMENT OF WORK. ENGINEER TO BE NOTIFIED.
- EC12 WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED AS SHOWN ON PLAN.
- EC13 STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK, SCAFFOLDING.
- EC14 TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. (NO SEMITRAILERS)
- EC15 ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.
- EC16 PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
- EC17 CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
- EC18 DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A TIME.
- EC19 ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.

EC20 TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.

EC21 ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE HILLS SHIRE COUNCIL'S ENVIRONMENTAL SITE MANAGEMENT DEVELOPMENT CONTROL PLAN DOCUMENTS, CURRENT EDITION.

EC23 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF THE CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM. SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

EC22 PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOT PATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.

ROCK WORKS

- ROCK SIZES ARE SPECIFIED ACCORDING TO THEIR POSITION AND RESISTANCE TO HYDRAULIC FORCES. THE ROCK HAS BEEN SHOWN SCHEMATICALLY IN THE DRAWINGS AND SHALL BE 100mm NOMINAL SIZE.
- ROCK SUPPLIED FOR THE WORKS MUST BE HARD, DURABLE, AND LOCALLY SOURCED.
- ROCK IN THE FORM OF BLOCKS WITH ANGULAR EDGES IS REQUIRED TO ENSURE CONSISTENT INTERLOCKING DURING PLACEMENT.
- ROCK IS TO BE IN THE NATURAL FORM AND NOT CUT OF SHAPED.
- ALL GAPS WITHIN ROCK TO BE FILLED WITH COARSE GRAVEL TO THE TOP AND THEN FILLED WITH A FILTER MEDIA. THIS GRADED ROCK IS TO BE OVERLAID ON A COARSE GRAVEL BEDDING WITH A MIN. 20mm THICKNESS. PROVIDE A GEOTEXTILE FABRIC BIDIM A64 OR APPROVED EQUIVALENT.

SEQUENCE OF OPERATIONS

- PROVIDE SHAKE DOWN PAD AT ENTRY OF SITE.
- CONSTRUCT SEDIMENT FENCING (REFER DETAILS)
- CONSTRUCT DRAINAGE & CIVIL WORKS (MODIFY SEDIMENT CONTROL DRAINS TO SUIT CONSTRUCTION.
- PITS & PIPES TO BE PROTECTED WITH FILTER BARRIERS REFER DETAILS
- AT COMPLETION OF ALL WORKS REVEGETATE BATTERS WITHIN 14 DAYS
- AFTER COMPLETION OF BUILDING WORKS, ALL CONTROL MEASURES CAN BE REMOVED.

MAINTENANCE PROCEDURES

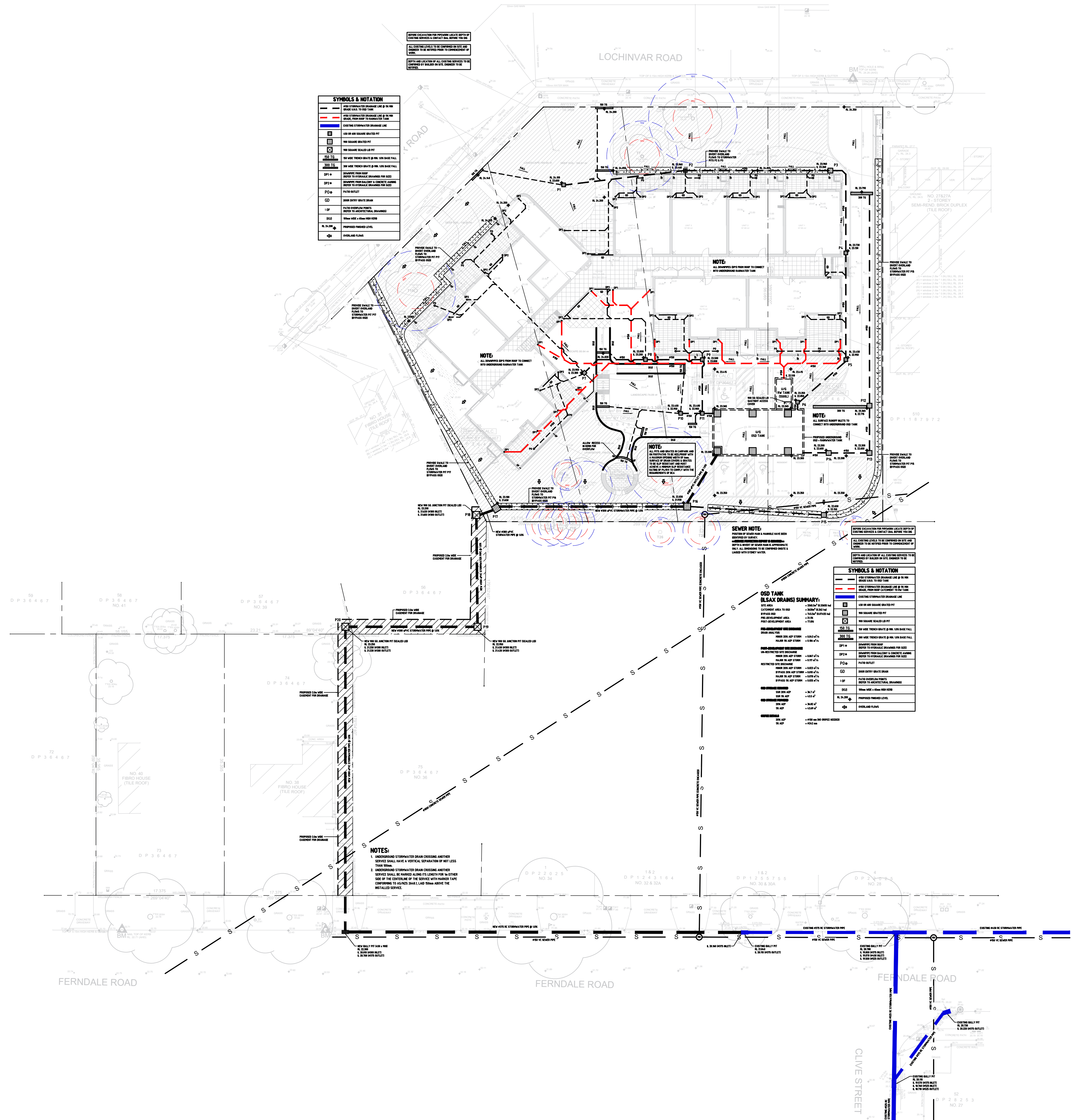
DURING CONSTRUCTION

- ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL /OPERATIONAL DURING THE CURRENCY OR WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL /OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY, (e.g. WEEKENDS, ROSTERED DAYS OFF, etc.)
- RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.
- NON-COMPLIANCE WITH AGREED PERFORMANCE CRITERIA WILL BE IDENTIFIED BY: VISUAL INSPECTIONS IDENTIFYING
 - BUILD-UP OF SEDIMENT OFF THE SITE
 - EXCESSIVE SEDIMENT BUILD-UP ON THE SITE
 - EXCESSIVE EROSION ON THE SITE
 - RELEASE OF CONSTRUCTION MATERIAL FROM THE SITE
 - POOR VEGETATION ESTABLISHMENT
 - POORLY MAINTAINED, DAMAGED OR FAILED ESC DEVICES.
 - DETERIORATED WATER QUALITY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT AS BEING ATTRIBUTABLE TO THE CONSTRUCTION ACTIVITIES.
- BUILD-UP OF SEDIMENT OFF THE SITE - THE MATERIAL MUST BE COLLECTED AND DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ONGOING ENVIRONMENTAL NUISANCE OR HARM; THEN ON-SITE ESC MEASURES AMENDED, WHERE APPROPRIATE, TO REDUCE THE RISK OF FURTHER EDIMENTATION.
- EXCESSIVE SEDIMENT BUILD-UP ON THE SITE - COLLECT AND DISPOSE OF MATERIAL, THEN AMEND UP-SLOPE DRAINAGE AND/OR EROSION CONTROL MEASURES AS APPROPRIATE TO REDUCE FURTHER OCCURRENCE.
- SEDIMENT FENCE FAILURE - REPLACE AND MONITOR MORE FREQUENTLY. REGULAR FAILURES MAY MEAN THAT THE SEDIMENT FENCE LOCATION, ALIGNMENT OR INSTALLATION MAY NEED TO BE AMENDED.
- IF THE RELEASE OF EXCESSIVE SEDIMENT AND/OR OTHER MATERIALS OFF THE SITE OCCURS, OR WATER QUALITY MONITORING INDICATES LEVELS ARE NOT WITHIN THE WQOS, CLEAN UP DEPOSITION, AND INSPECT ALL CONTROL MEASURES.


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SCALE FOR PRINTING
PURPOSE ONLY

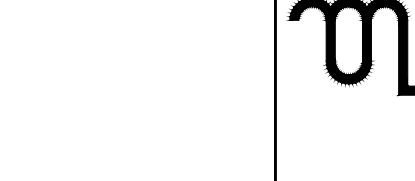
	LOCKED BAG 5022 PARAMAITA NSW 2124 PHONE NO 1800 738 718 www.dppe.nsw.gov.au/land-and-housing-corporation	 MSL Consulting Engineers Pty Limited <small> ABN 72 903 082 591 ACN 142 291 190 Suite 102 - 62 Harbour St, Wollongong NSW PO Box 587, Dapto NSW P 02 4228 5247 e info@mslengineers.com.au w www.mslengineers.com.au </small>	<table border="1"> <tr><td> </td><td> </td><td> </td></tr> <tr><td>B</td><td>04.10.2024</td><td>ISSUED FOR DA</td></tr> <tr><td>A</td><td>22.07.2024</td><td>ISSUED FOR DA</td></tr> <tr><td>P1</td><td>21.05.2024</td><td>CONCEPT PLAN</td></tr> <tr><th>REV</th><th>DATE</th><th>NOTATION/AMENDMENT</th></tr> <tr><td colspan="3">DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.</td></tr> </table>				B	04.10.2024	ISSUED FOR DA	A	22.07.2024	ISSUED FOR DA	P1	21.05.2024	CONCEPT PLAN	REV	DATE	NOTATION/AMENDMENT	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			<table border="1"> <tr><th colspan="2">PROJECT MANAGER</th></tr> <tr><td>HOMES NSW</td><td>PH 1800 738 718</td></tr> <tr><th colspan="2">ARCHITECT</th></tr> <tr><td>DTA Architects Pty Ltd</td><td>PH 023 9601 1011</td></tr> <tr><th colspan="2">ELECTRICAL / BASIC CONSULTANT</th></tr> <tr><td>GREENBANK CONSULTING PTY LTD</td><td>PH 021 6544 1663</td></tr> </table>	PROJECT MANAGER		HOMES NSW	PH 1800 738 718	ARCHITECT		DTA Architects Pty Ltd	PH 023 9601 1011	ELECTRICAL / BASIC CONSULTANT		GREENBANK CONSULTING PTY LTD	PH 021 6544 1663	<table border="1"> <tr><th colspan="2">STRUCTURAL / CIVIL / STORMWATER CONSULTANT</th></tr> <tr><td>MSL CONSULTING ENGINEERS PTY LTD</td><td>PH 023 4228 5247</td></tr> <tr><th colspan="2">HYDRAULIC CONSULTANT</th></tr> <tr><td>ABEL & BROWN PTY LTD</td><td>PH 023 9789 5705</td></tr> <tr><th colspan="2">LANDSCAPE CONSULTANT</th></tr> <tr><td>RAY FUGGLE & ASSOCIATED PTY LTD</td><td>PH 0412 294 712</td></tr> </table>	STRUCTURAL / CIVIL / STORMWATER CONSULTANT		MSL CONSULTING ENGINEERS PTY LTD	PH 023 4228 5247	HYDRAULIC CONSULTANT		ABEL & BROWN PTY LTD	PH 023 9789 5705	LANDSCAPE CONSULTANT		RAY FUGGLE & ASSOCIATED PTY LTD	PH 0412 294 712	<table border="1"> <tr><th colspan="4">BUSINESS PARTNER:</th></tr> <tr><td></td><td></td><td> </td><td> </td></tr> </table>	BUSINESS PARTNER:								<table border="1"> <tr><th colspan="4">PROJECT:</th></tr> <tr><td colspan="4">SENIORS HOUSING DEVELOPMENT</td></tr> <tr><td colspan="4">at LOTS 52, 53, 54 & 55 IN DP 36467</td></tr> <tr><td colspan="4">29-35 LOCHINVAR ROAD REVESBY NSW 2212</td></tr> </table>	PROJECT:				SENIORS HOUSING DEVELOPMENT				at LOTS 52, 53, 54 & 55 IN DP 36467				29-35 LOCHINVAR ROAD REVESBY NSW 2212				<table border="1"> <tr><th colspan="4">TITLE:</th></tr> <tr><td colspan="4">SPECIFICATION SHEET</td></tr> <tr><td>FILE:</td><td>FLOTTED:</td><td>TYPE:</td><td>REV:</td></tr> <tr><td> </td><td>04/10/2024</td><td>SW</td><td>B</td></tr> </table>	TITLE:				SPECIFICATION SHEET				FILE:	FLOTTED:	TYPE:	REV:		04/10/2024	SW	B	<table border="1"> <tr><th colspan="4">STATUS:</th></tr> <tr><td colspan="4">DA ISSUE</td></tr> <tr><th>DATE</th><th>SCALE</th><th>PROJ</th><th>JOB</th></tr> <tr><td>04/10/24</td><td>N.T.S. @ 1</td><td>BH27J</td><td>23208</td></tr> <tr><th>STAGE</th><th>DRAWN</th><th>CHECKED</th><th>CERTIFIED</th></tr> <tr><td>B</td><td>WT</td><td>MP</td><td>MP</td></tr> <tr><th>SHEET:</th><th colspan="2">REV:</th><th> </th></tr> <tr><td>1 of 17</td><td> </td><td> </td><td> </td></tr> </table>	STATUS:				DA ISSUE				DATE	SCALE	PROJ	JOB	04/10/24	N.T.S. @ 1	BH27J	23208	STAGE	DRAWN	CHECKED	CERTIFIED	B	WT	MP	MP	SHEET:	REV:			1 of 17			
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVSBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: OVERALL SITE DRAINAGE PLAN		Drawing No: Sheet 02		
Rev	Date	Description	DP Full Name	Reg No



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 e info@mslengineers.com.au
 w www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN

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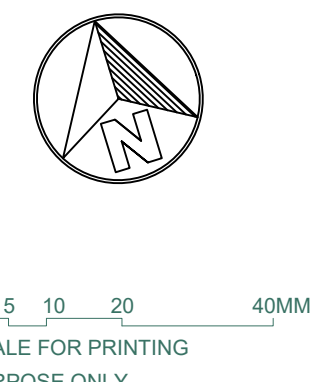
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ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2105
ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGGOL & ASSOCIATED PTY LTD PH 0412 294 712

BUSINESS PARTNER:

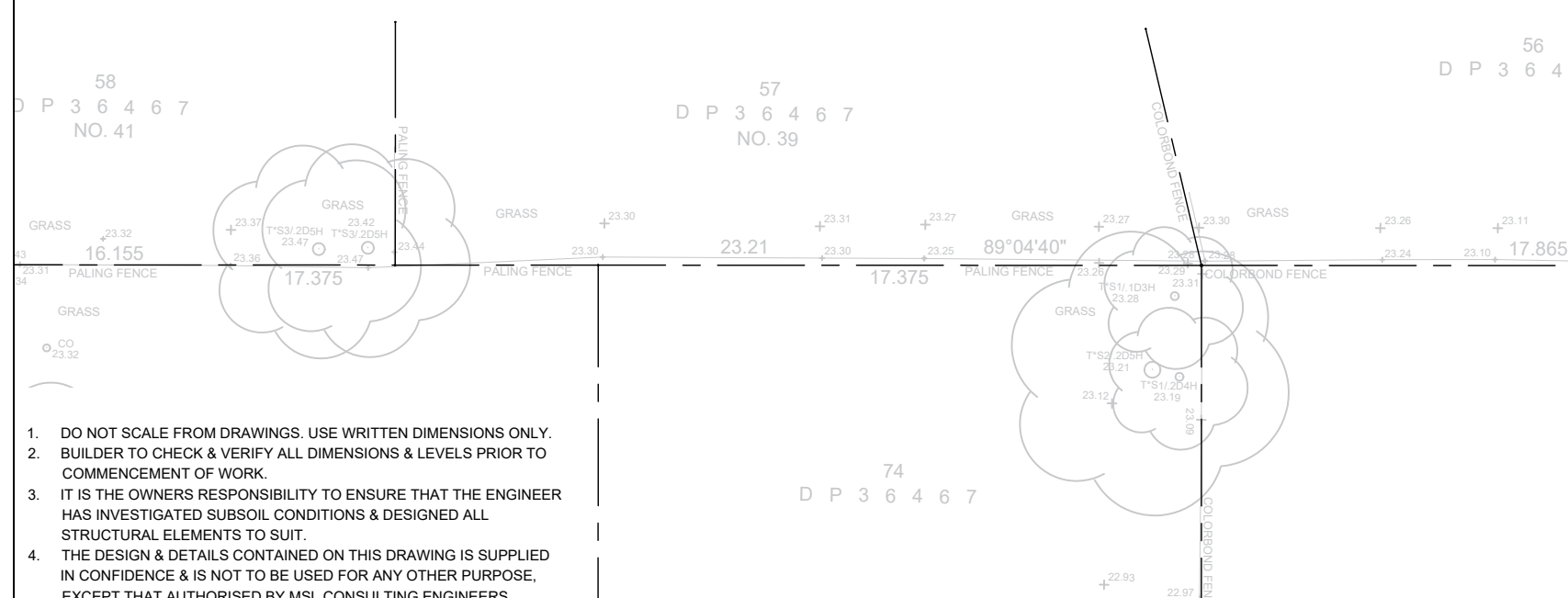
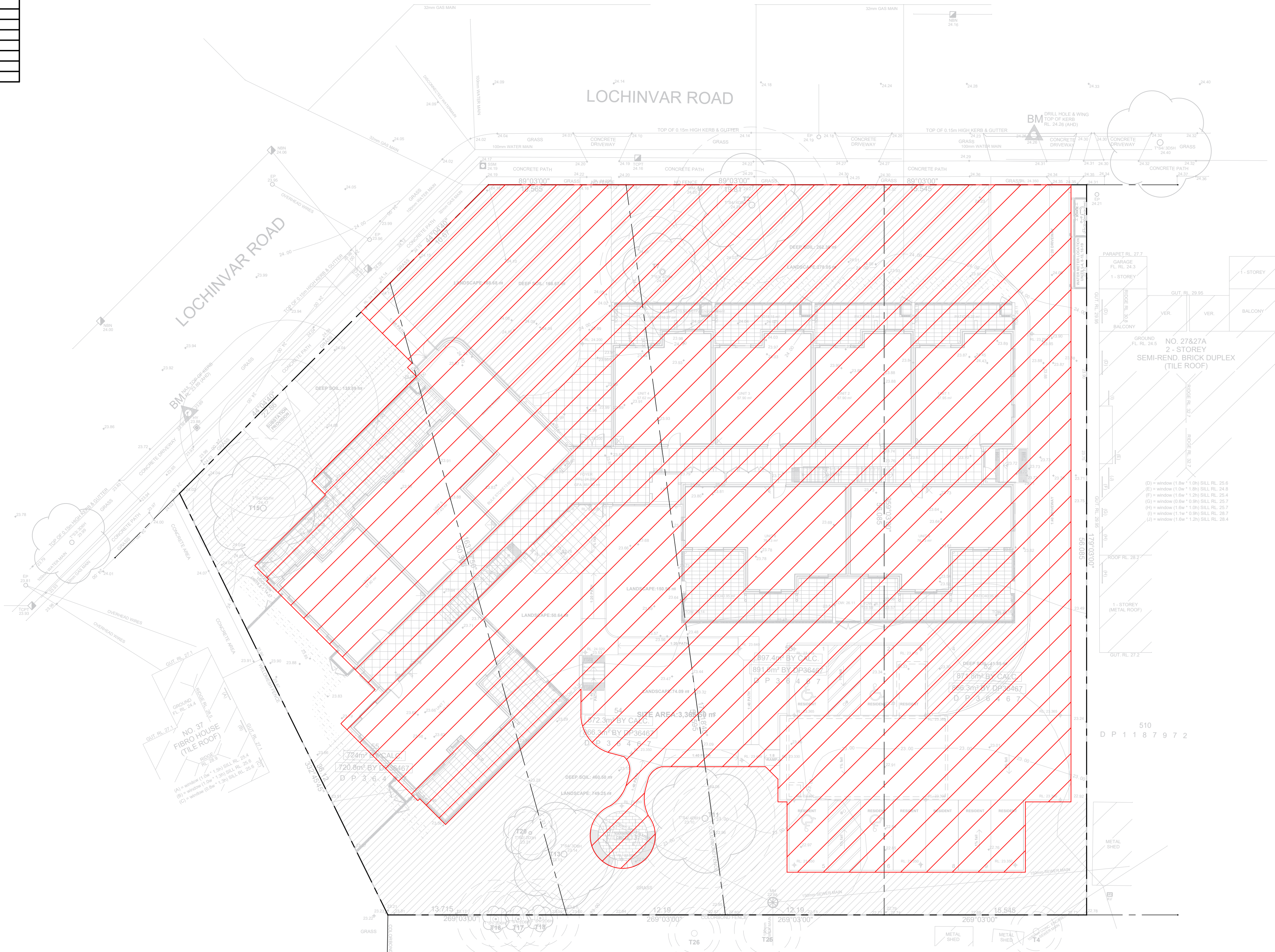


PROJECT:
SENIORS HOUSING DEVELOPMENT
 at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVSBY NSW 2212

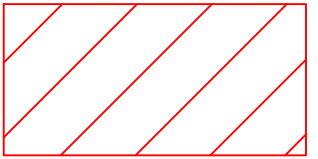
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FILE:	PLOTTED: 04/10/2024	TYPE: SW	SHEET: 2 of 17
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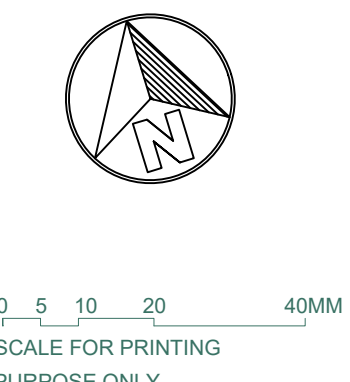



Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ????		Body Corporate Reg No:		
Drawing Title: OSD CATCHMENT AREA		Drawing No: Sheet 03		
Rev	Date	Description	DP Full Name	Reg No



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DENOTES OSD CATCHMENT AREA



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STRUCTURAL / CIVIL / STORMWATER CONSULTANT
MSL CONSULTING ENGINEERS PTY LTD
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HYDRAULIC CONSULTANT
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BUSINESS PARTNER:
 

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
OSD CATCHMENT AREA

STATUS: **DA ISSUE**

DATE: 04/10/24
SCALE: 1:200 @ A1
STAGE: B
DRAWN: WT
CHECKED: MP
TYPE: SW
SHEET: 3 of 17
REV: B

PROJECT MANAGER: **BH27J**
JOB: **23208**
CERTIFICATE: **MP**
REV: **B**

Rev	Date	Description	DP Full Name	Reg No

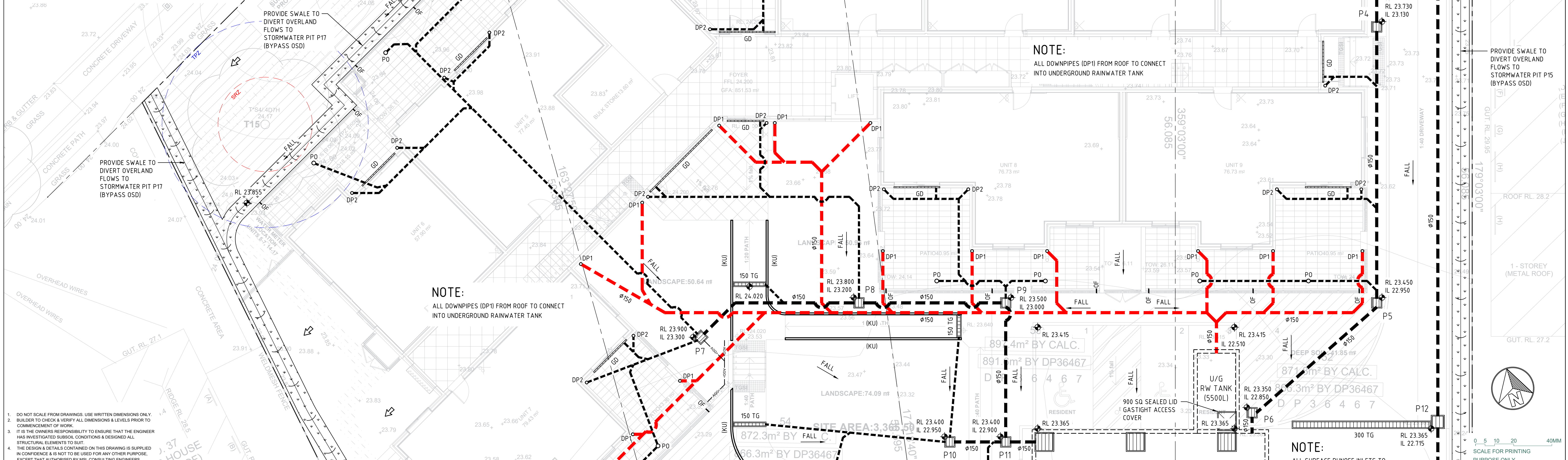
Regulated Design Record
 Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212
 Project Title: Seniors Housing Development
 Consent No: BH27J - ????
 Body Corporate Reg No:
 Drawing Title: DRAINAGE PLAN - SHEET 1
 Drawing No: Sheet 04

BEFORE EXCAVATION FOR PIPEWORK LOCATE DEPTH OF EXISTING SERVICES & CONTACT DIAL BEFORE YOU DIG

ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

SYMBOLS & NOTATION	
	Ø150 STORMWATER DRAINAGE LINE @ 1% MIN GRADE U.N.O. TO OSD TANK
	Ø150 STORMWATER DRAINAGE LINE @ 1% MIN GRADE, FROM ROOF TO RAINWATER TANK
	EXISTING STORMWATER DRAINAGE LINE
	450 OR 600 SQUARE GRATED PIT
	900 SQUARE GRATED PIT
	900 SQUARE SEALED LID PIT
	150 WIDE TRENCH GRATE @ MIN. 10% BASE FALL
	300 WIDE TRENCH GRATE @ MIN. 10% BASE FALL
	DOWNPIPE FROM ROOF (REFER TO HYDRAULIC DRAWINGS FOR SIZE)
	DOWNPIPE FROM BALCONY & CONCRETE AWNING (REFER TO HYDRAULIC DRAWINGS FOR SIZE)
	PATIO OUTLET
	DOOR ENTRY GRATE DRAIN
	PATIO OVERFLOW POINTS (REFER TO ARCHITECTURAL DRAWINGS)
	100mm WIDE x 65mm HIGH KERB
	PROPOSED FINISHED LEVEL
	OVERLAND FLOWS



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NOTE:
 ALL DOWNPIPES (DP1) FROM ROOF TO CONNECT INTO UNDERGROUND RAINWATER TANK

NOTE:
 ALL SURFACE RUNOFF INLETS TO

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LANDSCAPE CONSULTANT
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BUSINESS PARTNER
NSW GOVERNMENT

Homes NSW

PROJECT:
SENIORS HOUSING DEVELOPMENT
 at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE		STATUS	
DRAINAGE PLAN - SHEET 1		DA ISSUE	
DATE	SCALE	PROJ	JOB
04/10/24	1:100 @ A1	BH27J	23208
DRAWN	CHECKED	DESIGNED	SERIALIZED
WT	MP	MP	MP
FILE	PLOTTED	TYP	SHEET
04/10/2024	SW	4 of 17	B

Rev	Date	Description	DP Full Name	Reg No

Regulated Design Record
 Project Address: 29-35 LOCHINVAR ROAD REVSBY NSW 2212
 Project Title: Seniors Housing Development
 Consent No: BH27J - ????
 Drawing Title: DRAINAGE PLAN - SHEET 2
 Drawing No: Sheet 05

NOTE:
 ALL DOWNPIPES (DP1) FROM ROOF TO CONNECT INTO UNDERGROUND RAINWATER TANK

NOTE:
 ALL SURFACE RUNOFF INLETS TO CONNECT INTO UNDERGROUND OSD TANK

NOTE:
 ALL PITS AND GRATES IN CARPARK AND ON FOOTPATHS TO BE HEELPROOF WITH A MAXIMUM OPENING WIDTH OF 6mm. SURFACE OF DRAIN COVERS & GRATES TO BE SLIP RESISTANT AND MUST ACHIEVE A MINIMUM SLIP RESISTANCE RATING OF P4/R11 TO COMPLY WITH THE REQUIREMENTS OF BCA

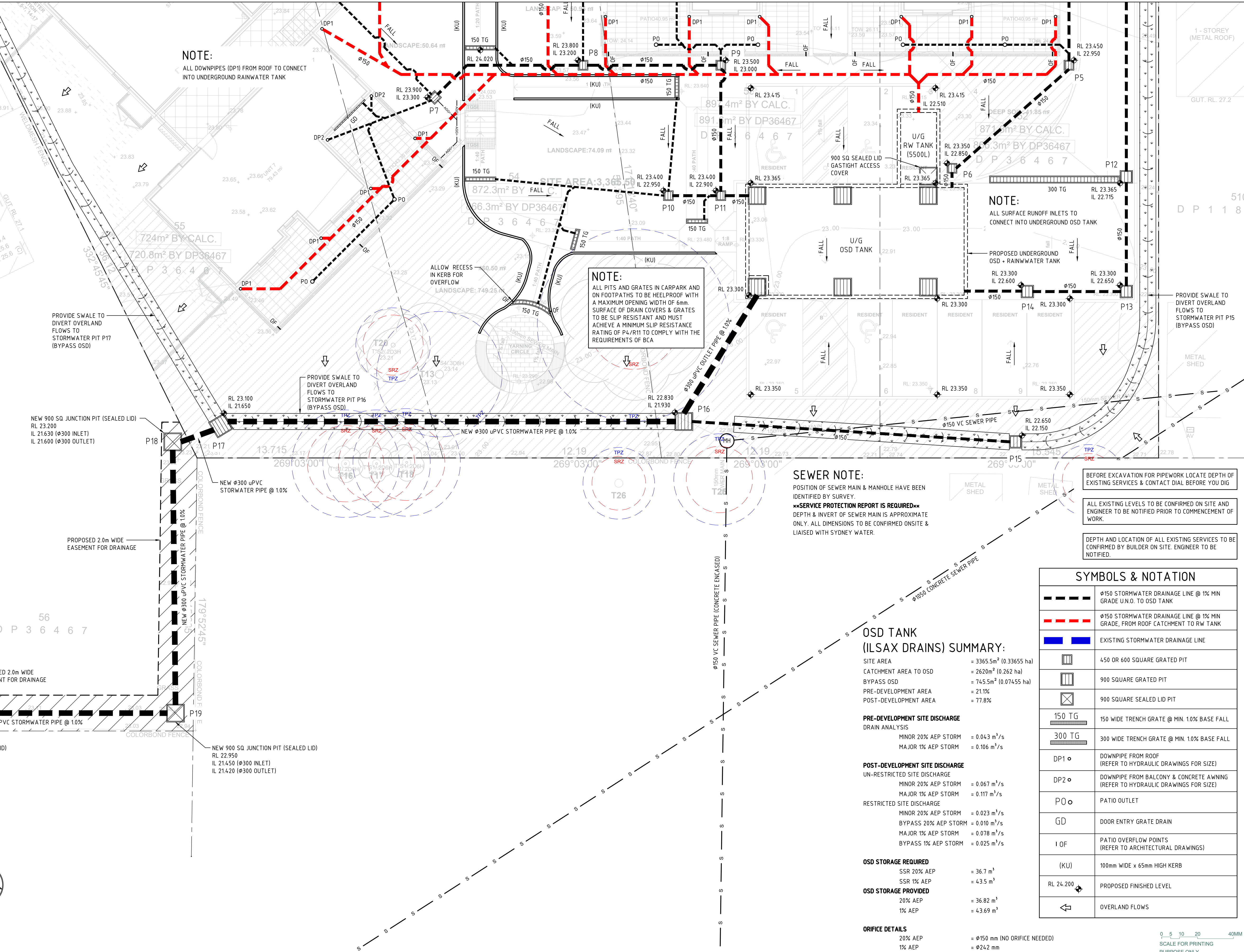
SEWER NOTE:
 POSITION OF SEWER MAIN & MANHOLE HAVE BEEN IDENTIFIED BY SURVEY.
 SERVICE PROTECTION REPORT IS REQUIRED
 DEPTH & INVERT OF SEWER MAIN IS APPROXIMATE ONLY. ALL DIMENSIONS TO BE CONFIRMED ONSITE & LAIUED WITH SYDNEY WATER.

BEFORE EXCAVATION FOR PIPEWORK LOCATE DEPTH OF EXISTING SERVICES & CONTACT DIAL BEFORE YOU DIG

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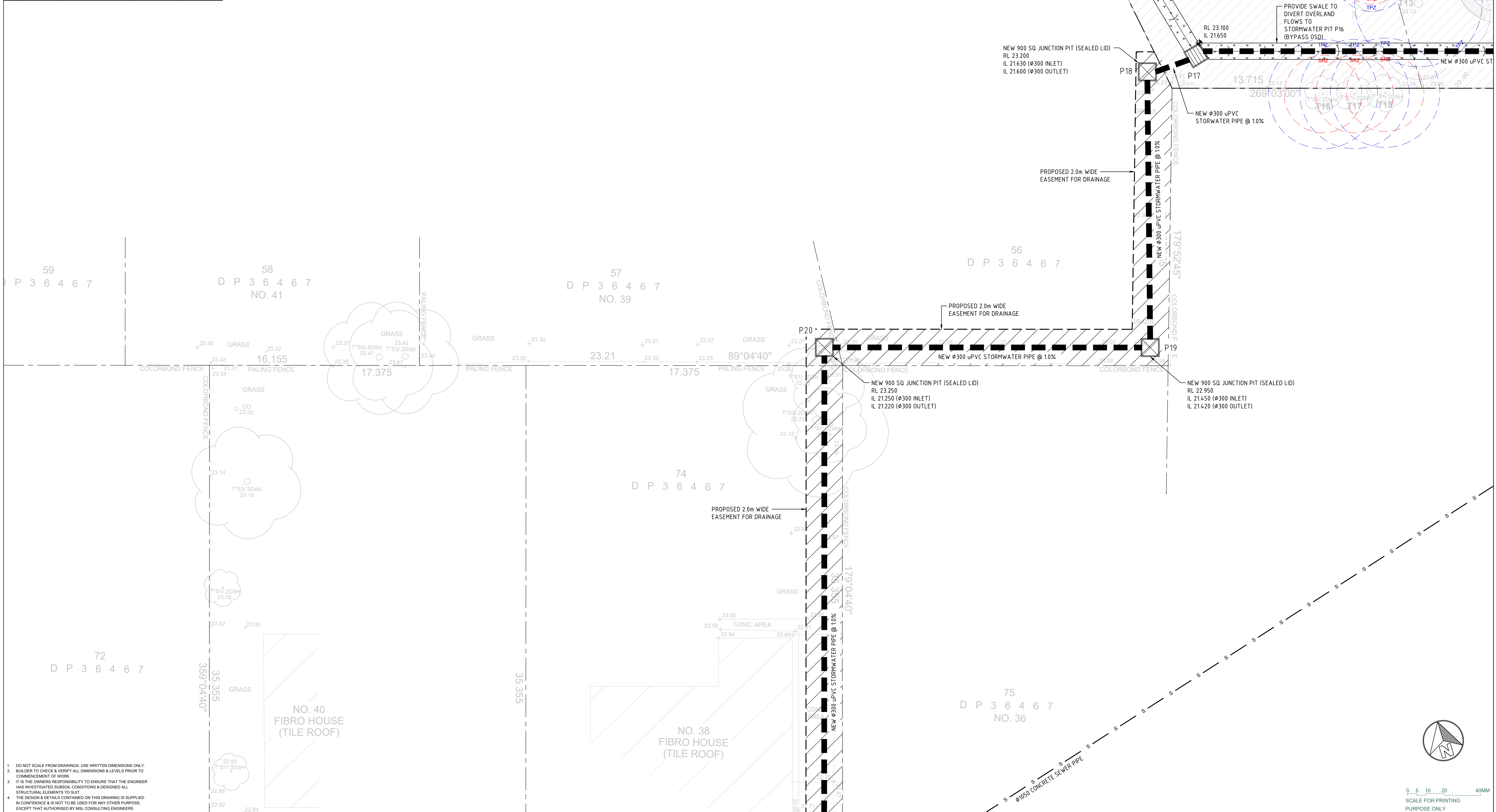
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DATE	ISSUED FOR	DESCRIPTION
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22.07.2024	ISSUED FOR DA	
21.05.2024	CONCEPT PLAN	
REV	DATE	NOTATION/AMENDMENT



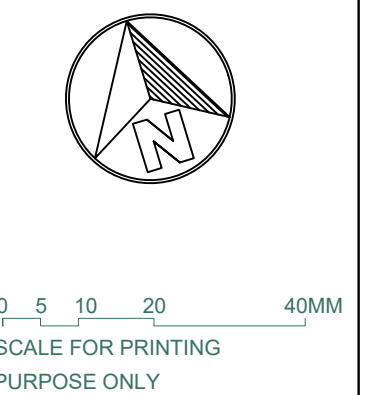
<p>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation</p>	<p>MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 160 Suite 102 - 62 Harbour St, Wollongong NSW PO Box 567, Dapto NSW p 02 4201 0247 e info@mslengineers.com.au www.mslengineers.com.au</p>	<table border="1"> <tr> <th>PROJECT MANAGER</th> <td>HOMES NSW PH 1800 738 718</td> </tr> <tr> <th>STRUCTURAL / CIVIL / STORMWATER CONSULTANT</th> <td>MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 0247</td> </tr> <tr> <th>ARCHITECT</th> <td>DTA Architects Pty Ltd PH (02) 9601 1011</td> </tr> <tr> <th>ELECTRICAL / BASIX CONSULTANT</th> <td>GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683</td> </tr> <tr> <th>HYDRAULIC CONSULTANT</th> <td>ABEL & BROWN PTY LTD PH (02) 9709 2100</td> </tr> <tr> <th>LANDSCAPE CONSULTANT</th> <td>RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712</td> </tr> </table>	PROJECT MANAGER	HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT	MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 0247	ARCHITECT	DTA Architects Pty Ltd PH (02) 9601 1011	ELECTRICAL / BASIX CONSULTANT	GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	HYDRAULIC CONSULTANT	ABEL & BROWN PTY LTD PH (02) 9709 2100	LANDSCAPE CONSULTANT	RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712	<p>SENIORS HOUSING DEVELOPMENT at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVSBY NSW 2212</p>	<table border="1"> <tr> <th>TITLE</th> <td>DRAINAGE PLAN - SHEET 2</td> </tr> <tr> <th>STATUS</th> <td>DA ISSUE</td> </tr> <tr> <th>DATE</th> <td>04/10/24</td> </tr> <tr> <th>SCALE</th> <td>1:100 @ A1</td> </tr> <tr> <th>PROJECT</th> <td>BH27J</td> </tr> <tr> <th>JOB</th> <td>23208</td> </tr> <tr> <th>DRAWN</th> <td>WT</td> </tr> <tr> <th>CHECKED</th> <td>MP</td> </tr> <tr> <th>SHEET</th> <td>5 of 17</td> </tr> <tr> <th>REV</th> <td>B</td> </tr> </table>	TITLE	DRAINAGE PLAN - SHEET 2	STATUS	DA ISSUE	DATE	04/10/24	SCALE	1:100 @ A1	PROJECT	BH27J	JOB	23208	DRAWN	WT	CHECKED	MP	SHEET	5 of 17	REV	B
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Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?/??/???		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 3		Drawing No: Sheet 06		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

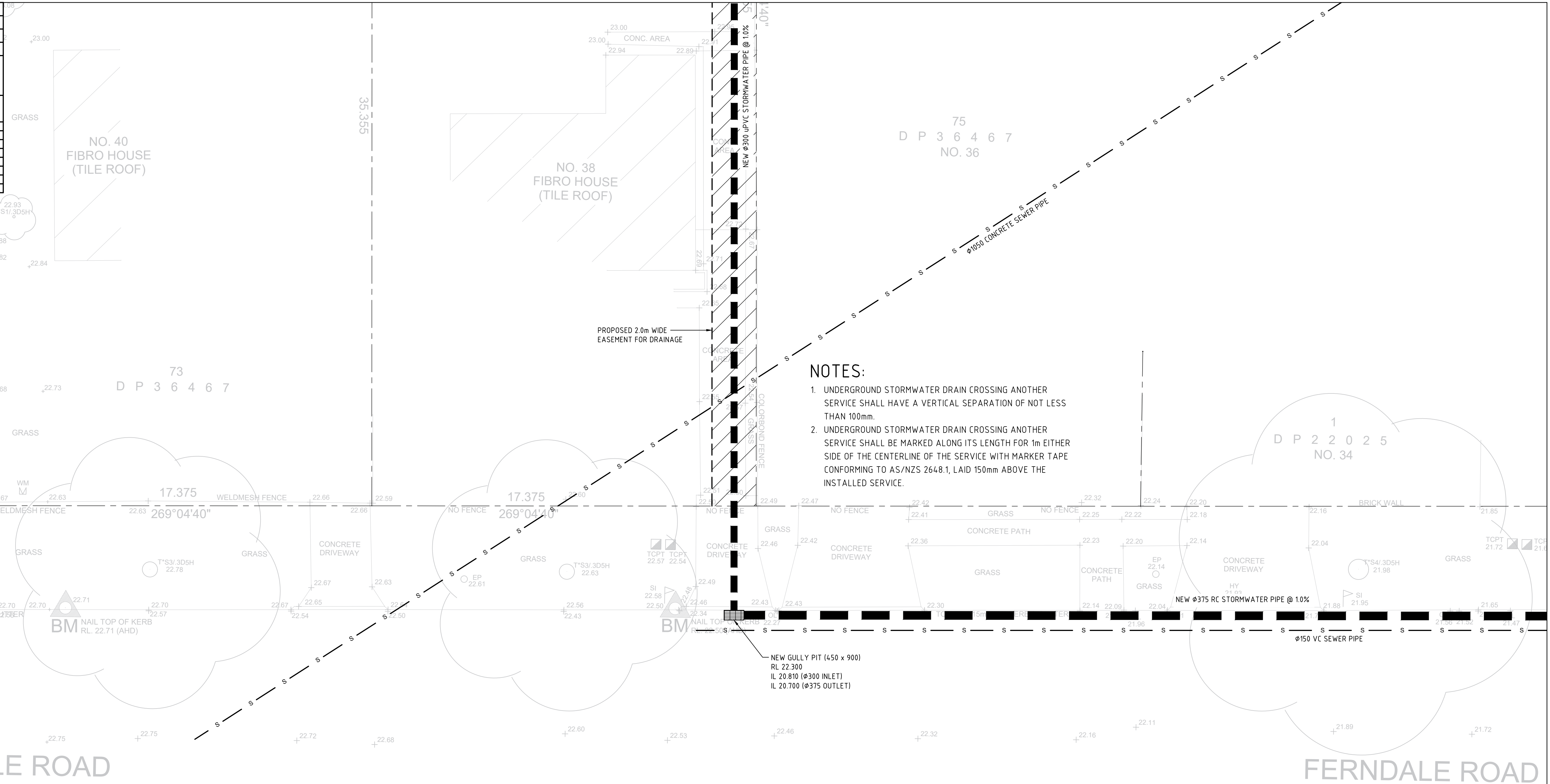


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<p>FILE:</p>	<p>PLOTTED: 04/10/2024</p>	<p>TYPE: SW</p>	<p>SHEET: 6 of 17</p>	<p>REV: B</p>																															



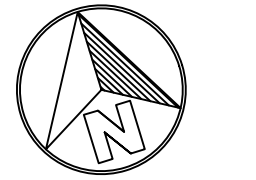
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Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 4		Drawing No: Sheet 07		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



NOTES:

- UNDERGROUND STORMWATER DRAIN CROSSING ANOTHER SERVICE SHALL HAVE A VERTICAL SEPARATION OF NOT LESS THAN 100mm.
- UNDERGROUND STORMWATER DRAIN CROSSING ANOTHER SERVICE SHALL BE MARKED ALONG ITS LENGTH FOR 1m EITHER SIDE OF THE CENTERLINE OF THE SERVICE WITH MARKER TAPE CONFORMING TO AS/NZS 2648.1, LAID 150mm ABOVE THE INSTALLED SERVICE.

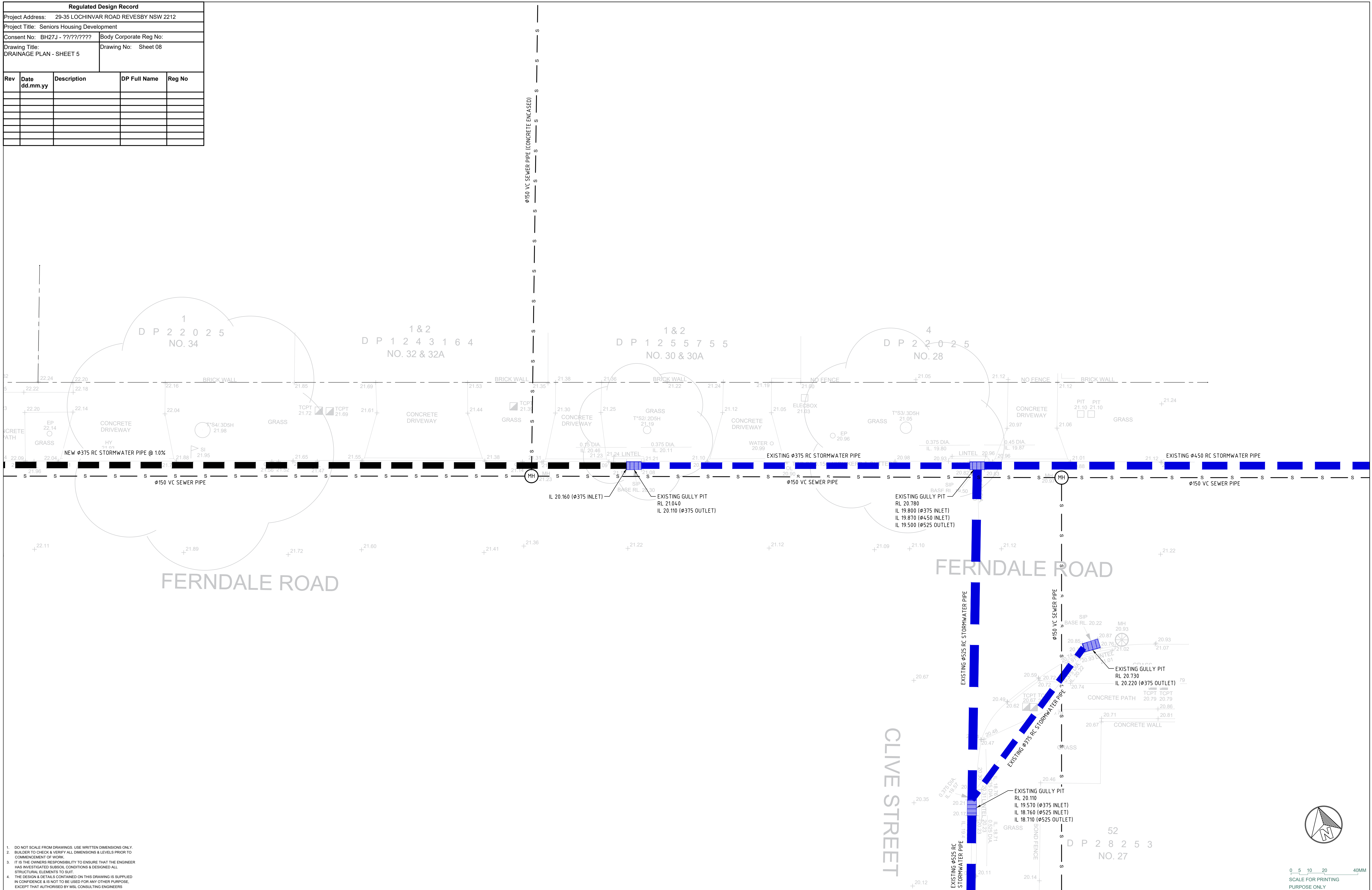
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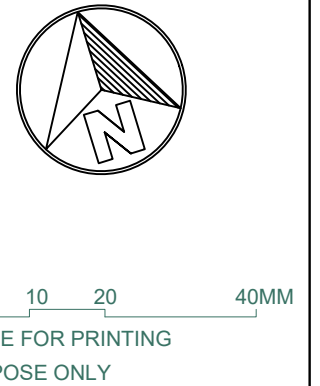
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SCALE FOR PRINTING
PURPOSE ONLY

	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dppe.nsw.gov.au/land-and-housing-corporation	MSL Consulting Engineers Pty Limited ABN 72 903 080 591 Suite 102 - 62 Harbour St. Wollongong NSW PO Box 567 Dapto NSW p 02 8201 0247 e info@mslengineers.com.au w www.mslengineers.com.au	PROJECT MANAGER HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247	BUSINESS PARTNER: 	PROJECT: SENIORS HOUSING DEVELOPMENT	TITLE: DRAINAGE PLAN - SHEET 4	STATUS: DA ISSUE
			ARCHITECT DTA Architects Pty Ltd PH (02) 9691 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2105		at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212	DATE: 04/10/24 SCALE: 1:100 @ A1 STAGE: B DRAWN: WT CHECKED: MP TYPE: SW SHEET: 7 of 17	PROJECT: BH27J JOB: 23208 CERTIFIED: MP REV: B

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 5		Drawing No: Sheet 08		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

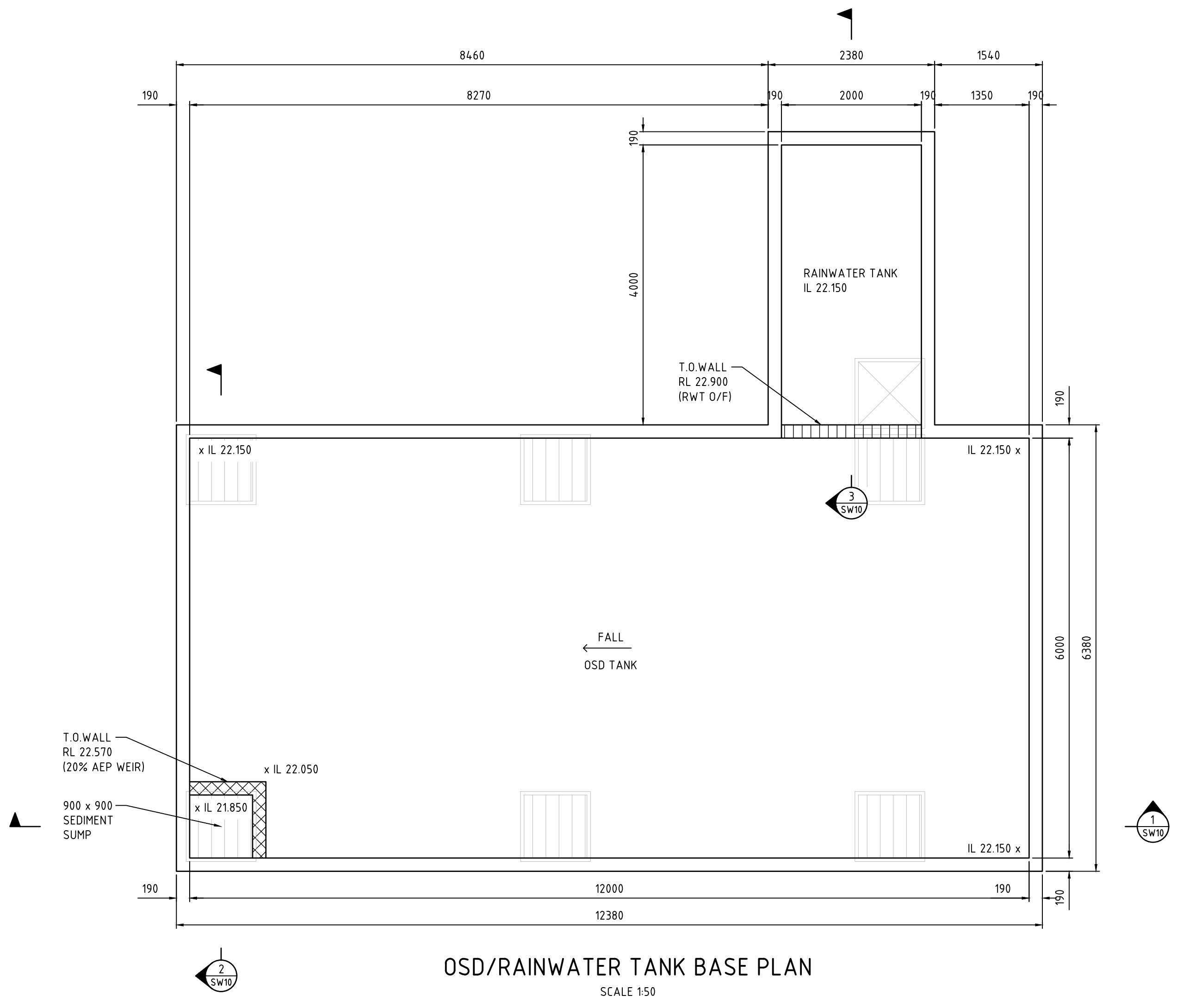


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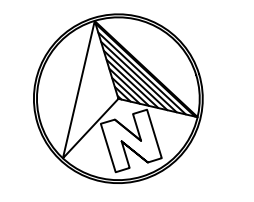
	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation	MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 165 Suite 102 - 62 Harbour St. Wollongong NSW PO Box 567 Dapto NSW p 02 4201 0247 e info@mslengineers.com.au w www.mslengineers.com.au	<table border="1"> <tr><th>REV</th><th>DATE</th><th>NOTATION/AMENDMENT</th></tr> <tr><td>B</td><td>04.10.2024</td><td>ISSUED FOR DA</td></tr> <tr><td>A</td><td>22.07.2024</td><td>ISSUED FOR DA</td></tr> <tr><td>P1</td><td>21.05.2024</td><td>CONCEPT PLAN</td></tr> </table>	REV	DATE	NOTATION/AMENDMENT	B	04.10.2024	ISSUED FOR DA	A	22.07.2024	ISSUED FOR DA	P1	21.05.2024	CONCEPT PLAN	<table border="1"> <tr><th>PROJECT MANAGER</th><td>HOMES NSW PH 1800 738 718</td></tr> <tr><th>ARCHITECT</th><td>DTA Architects Pty Ltd PH (02) 9691 1011</td></tr> <tr><th>ELECTRICAL / BASIX CONSULTANT</th><td>GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683</td></tr> </table>	PROJECT MANAGER	HOMES NSW PH 1800 738 718	ARCHITECT	DTA Architects Pty Ltd PH (02) 9691 1011	ELECTRICAL / BASIX CONSULTANT	GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	<table border="1"> <tr><th>STRUCTURAL / CIVIL / STORMWATER CONSULTANT</th><td>MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247</td></tr> <tr><th>HYDRAULIC CONSULTANT</th><td>ABEL & BROWN PTY LTD PH (02) 9799 5105</td></tr> <tr><th>LANDSCAPE CONSULTANT</th><td>RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712</td></tr> </table>	STRUCTURAL / CIVIL / STORMWATER CONSULTANT	MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247	HYDRAULIC CONSULTANT	ABEL & BROWN PTY LTD PH (02) 9799 5105	LANDSCAPE CONSULTANT	RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712	<table border="1"> <tr><th>BUSINESS PARTNER:</th><td></td></tr> </table>	BUSINESS PARTNER:		<table border="1"> <tr><th>PROJECT:</th><td>SENIORS HOUSING DEVELOPMENT</td></tr> <tr><td colspan="2">at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212</td></tr> </table>	PROJECT:	SENIORS HOUSING DEVELOPMENT	at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212		<table border="1"> <tr><th>TITLE:</th><td>DRAINAGE PLAN - SHEET 5</td></tr> </table>	TITLE:	DRAINAGE PLAN - SHEET 5	<table border="1"> <tr><th>STATUS:</th><td>DA ISSUE</td></tr> <tr><th>DATE:</th><td>04/10/24</td></tr> <tr><th>SCALE:</th><td>1:100 @ A1</td></tr> <tr><th>PROJ:</th><td>BH27J</td></tr> <tr><th>JOB:</th><td>23208</td></tr> <tr><th>STAGE:</th><td>B</td></tr> <tr><th>DRAWN:</th><td>WT</td></tr> <tr><th>CHECKED:</th><td>MP</td></tr> <tr><th>REV:</th><td>B</td></tr> </table>	STATUS:	DA ISSUE	DATE:	04/10/24	SCALE:	1:100 @ A1	PROJ:	BH27J	JOB:	23208	STAGE:	B	DRAWN:	WT	CHECKED:	MP	REV:	B	<table border="1"> <tr><th>FILE:</th><td></td></tr> <tr><th>PLOTTED:</th><td>04/10/2024</td></tr> <tr><th>TYPE:</th><td>SW</td></tr> <tr><th>SHEET:</th><td>8 of 17</td></tr> </table>	FILE:		PLOTTED:	04/10/2024	TYPE:	SW	SHEET:	8 of 17
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????????		Body Corporate Reg No:		
Drawing Title: OSD/RAINWATER TANK BASE PLAN		Drawing No: Sheet 09		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



OSD/RAINWATER TANK BASE PLAN
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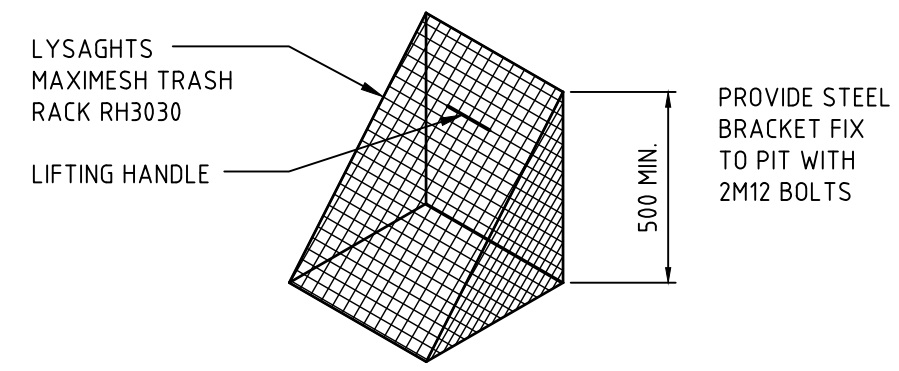
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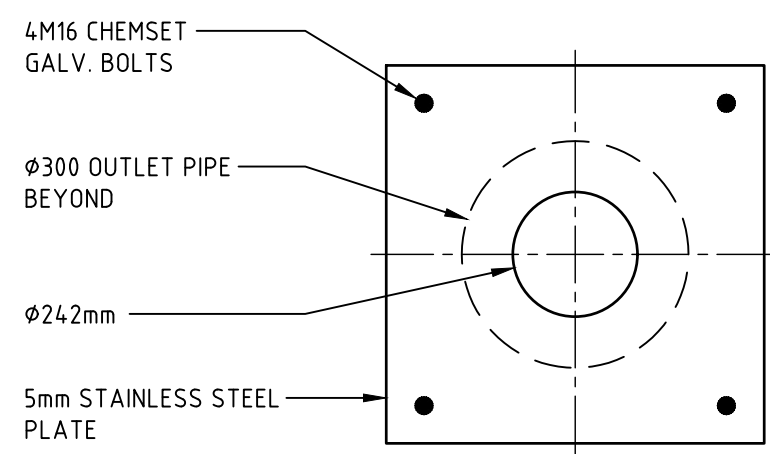
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SCALE FOR PRINTING
PURPOSE ONLY

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			ARCHITECT DTA Architects Pty Ltd <small>PH (02) 9601 1011</small>	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD <small>PH (02) 9709 5105</small>					BUSINESS PARTNER: 	BUSINESS PARTNER: 	DATE: 04/10/24 SCALE: 1:50 @ A1 PROJ: BH27J JOB: 23208	STAGE: B DRAWN: WT CHECKED: MP CERTIFIED: MP

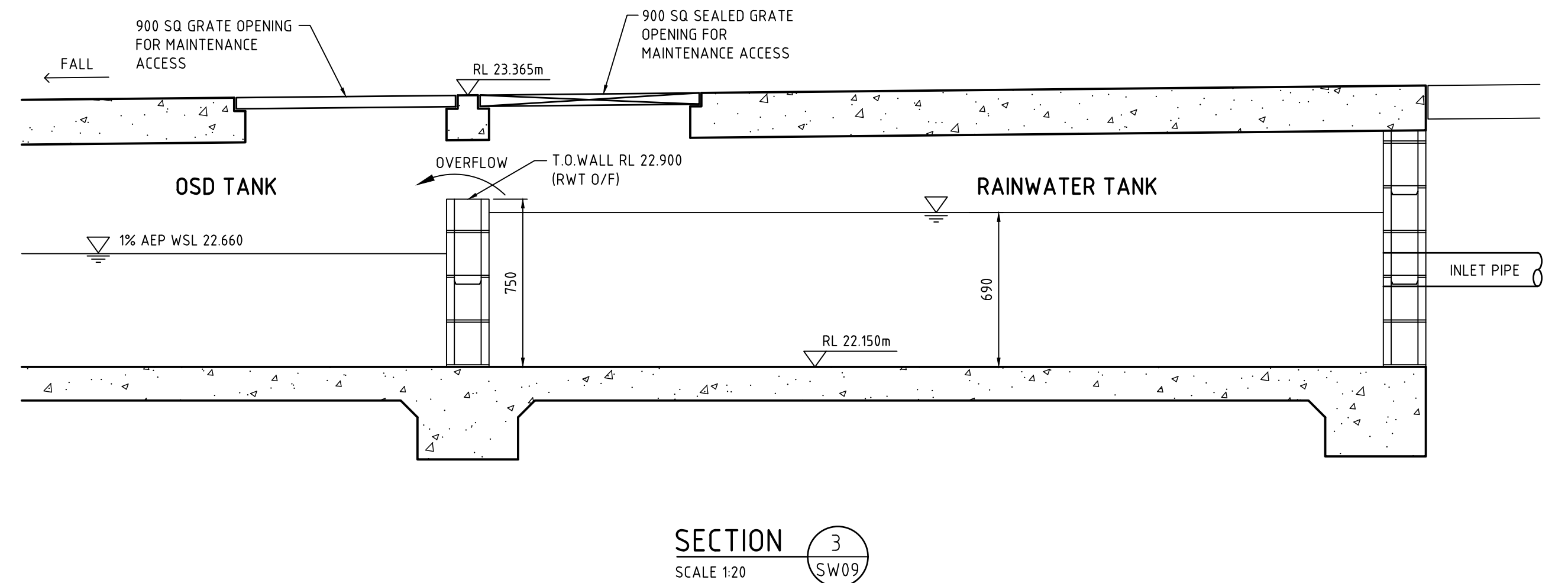
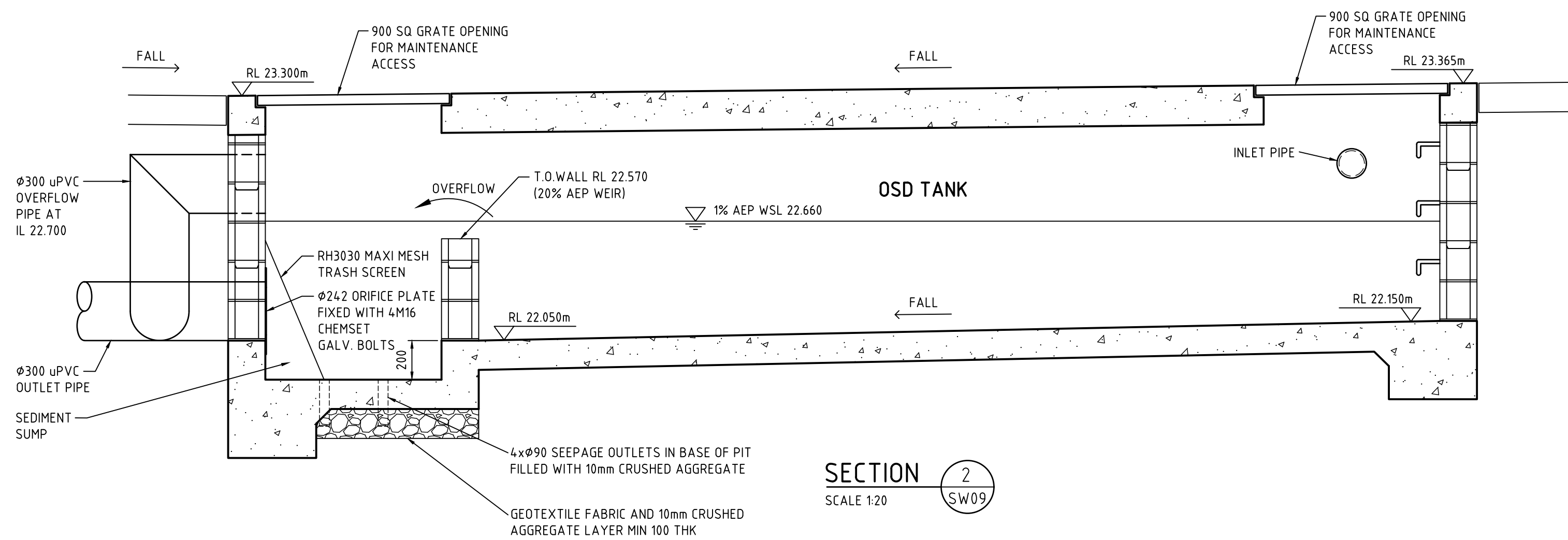
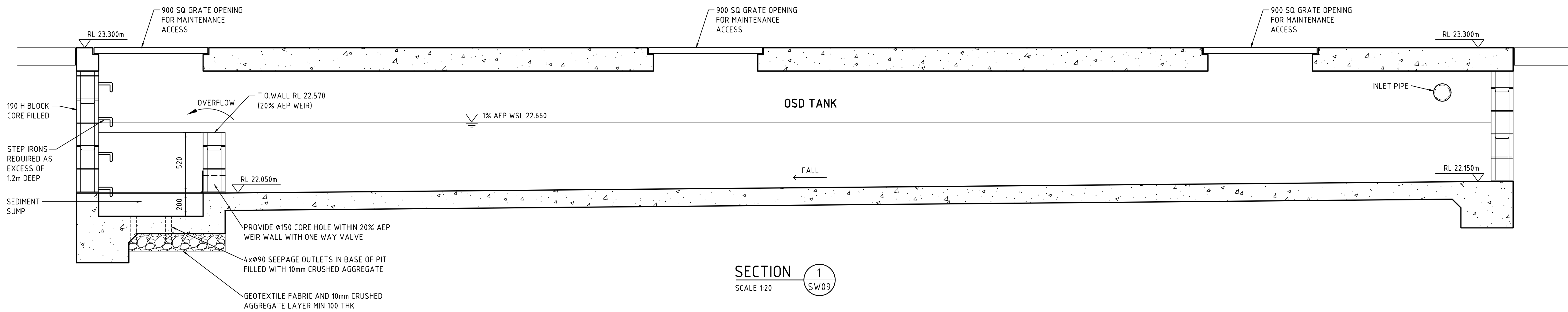
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Project Title: Seniors Housing Development				
Consent No: BH27J - ?/?/?/?/?		Body Corporate Reg No:		
Drawing Title: OSD/RAINWATER SECTIONS & STORMWATER DETAILS		Drawing No: Sheet 10		
Rev	Date	Description	DP Full Name	Reg No



MESH SCREEN DETAIL
NOT TO SCALE
GALVANISED LYSAGHT RH3030MAXI MESH SCREEN IN GALVANISED STEEL FRAME WITH LIFTING HANDLES



1% AEP - ORIFICE PLATE DETAIL
NOT TO SCALE

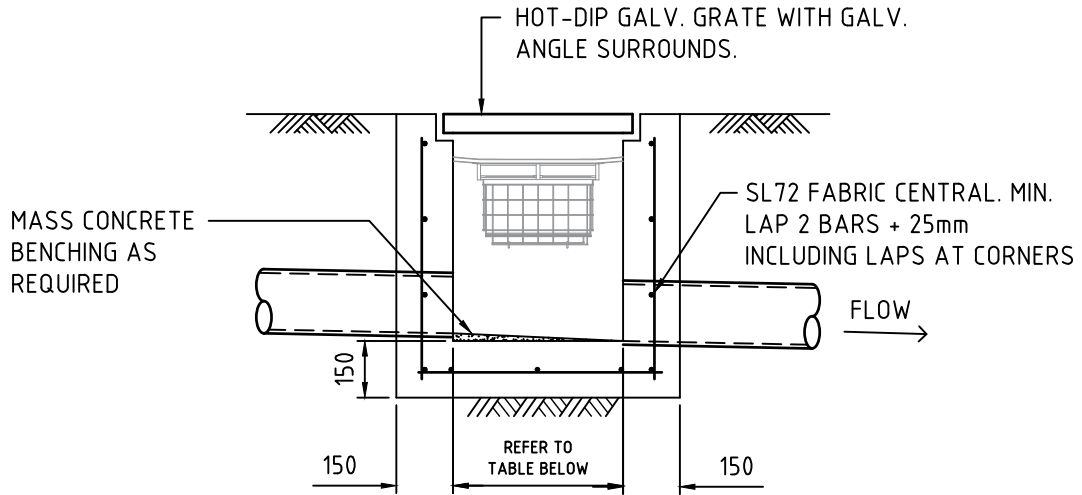


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<p>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dppe.nsw.gov.au/land-and-housing-corporation</p>	<p>MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 165 Suite 102 - 62 Harbour St. Wollongong NSW PO Box 567 Dapto NSW p 02 4620 0247 e info@mslengineers.com.au w www.mslengineers.com.au</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>NOTATION/AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>04.10.2024</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>A</td> <td>22.07.2024</td> <td>ISSUED FOR DA</td> </tr> <tr> <td>P1</td> <td>21.05.2024</td> <td>CONCEPT PLAN</td> </tr> </tbody> </table> <p>DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.</p>	REV	DATE	NOTATION/AMENDMENT	B	04.10.2024	ISSUED FOR DA	A	22.07.2024	ISSUED FOR DA	P1	21.05.2024	CONCEPT PLAN	<p>PROJECT MANAGER HOMES NSW PH 1800 738 718</p> <p>ARCHITECT DTA Architects Pty Ltd ACN 142 291 165 Suite 102 - 62 Harbour St. Wollongong NSW PO Box 567 Dapto NSW p 02 4620 0247</p> <p>ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683</p>	<p>STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247</p> <p>HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5205</p> <p>LANDSCAPE CONSULTANT RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712</p>	<p>BUSINESS PARTNER: Homes NSW</p>	<p>PROJECT: SENIORS HOUSING DEVELOPMENT at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212</p>	<p>TITLE: OSD/RAINWATER SECTIONS & STORMWATER DETAILS</p>	<p>STATUS: DA ISSUE</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>SCALE</th> <th>PROJ</th> <th>JOB</th> </tr> </thead> <tbody> <tr> <td>04/10/24</td> <td>1:20 @ A1</td> <td>BH27J</td> <td>23208</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>STAGE</th> <th>DRAWN</th> <th>CHECKED</th> <th>CERTIFIED</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>WT</td> <td>MP</td> <td>MP</td> </tr> </tbody> </table> <p>FILE: _____ PLOTTED: 04/10/2024 TYPE: SW SHEET: 10 of 17 REV: B</p>	DATE	SCALE	PROJ	JOB	04/10/24	1:20 @ A1	BH27J	23208	STAGE	DRAWN	CHECKED	CERTIFIED	B	WT	MP	MP
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????????		Body Corporate Reg No:		
Drawing Title: STORMWATER DETAILS		Drawing No: Sheet 11		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

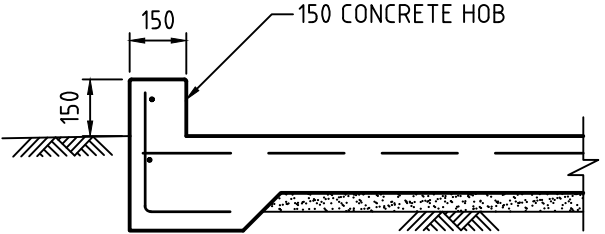


**TYPICAL SURFACE INLET PIT
-NATURAL SURFACE**
NOT TO SCALE

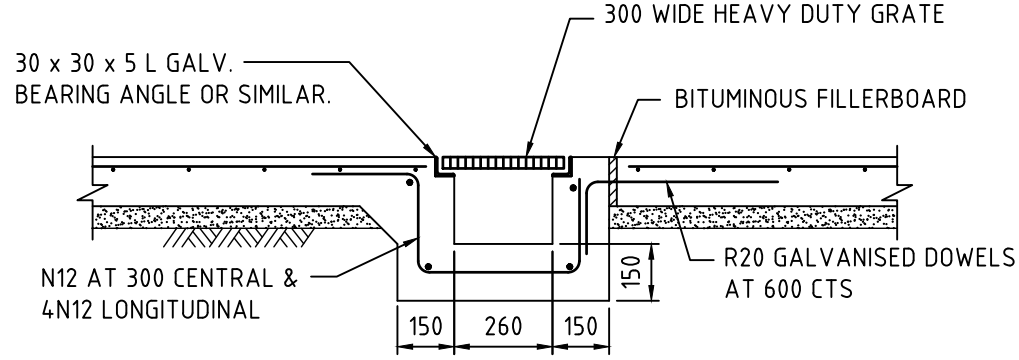
NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

Depth to Invert	Pit Internal Dimensions
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>600 <900	600x600
>900 <1200	600x900
>1200	900x900

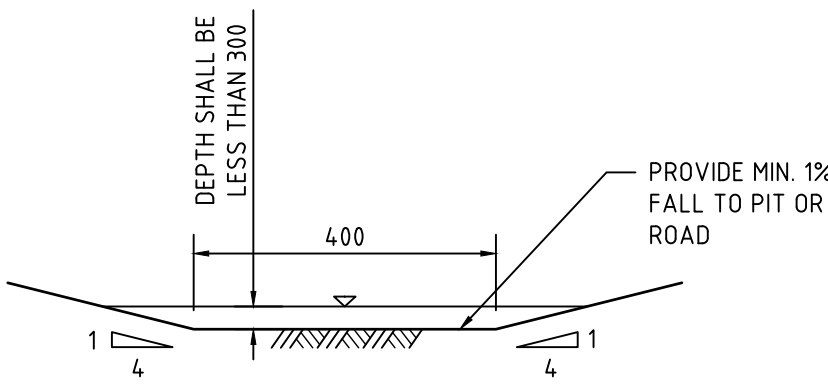
- PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 900mm.
- REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
- PROVIDE Ø90 x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
- ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- CONCRETE STRENGTH f'c = 32 MPa



**TYP DRIVEWAY 150 HOB
DETAIL**
NOT TO SCALE

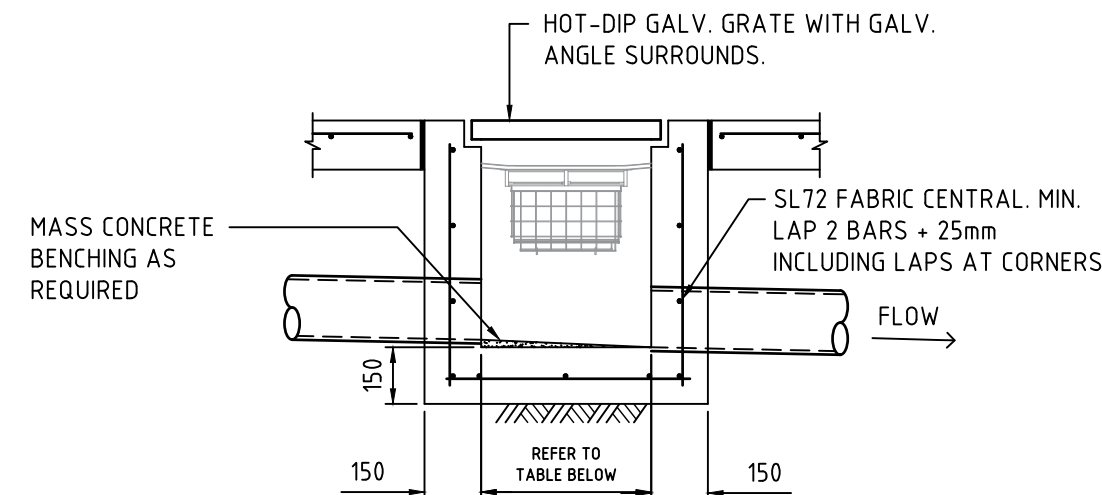


TYPICAL GRATED DRAIN DETAIL
NOT TO SCALE



TYPICAL SWALE DETAIL
NOT TO SCALE

NOTE:
SWALE FINAL DESIGN TO BE CONFIRMED AT CC STAGE



**TYPICAL SURFACE INLET PIT
-CONCRETE SURFACE**
NOT TO SCALE

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Depth to Invert	Pit Internal Dimensions
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>600 <900	600x600
>900 <1200	600x900
>1200	900x900

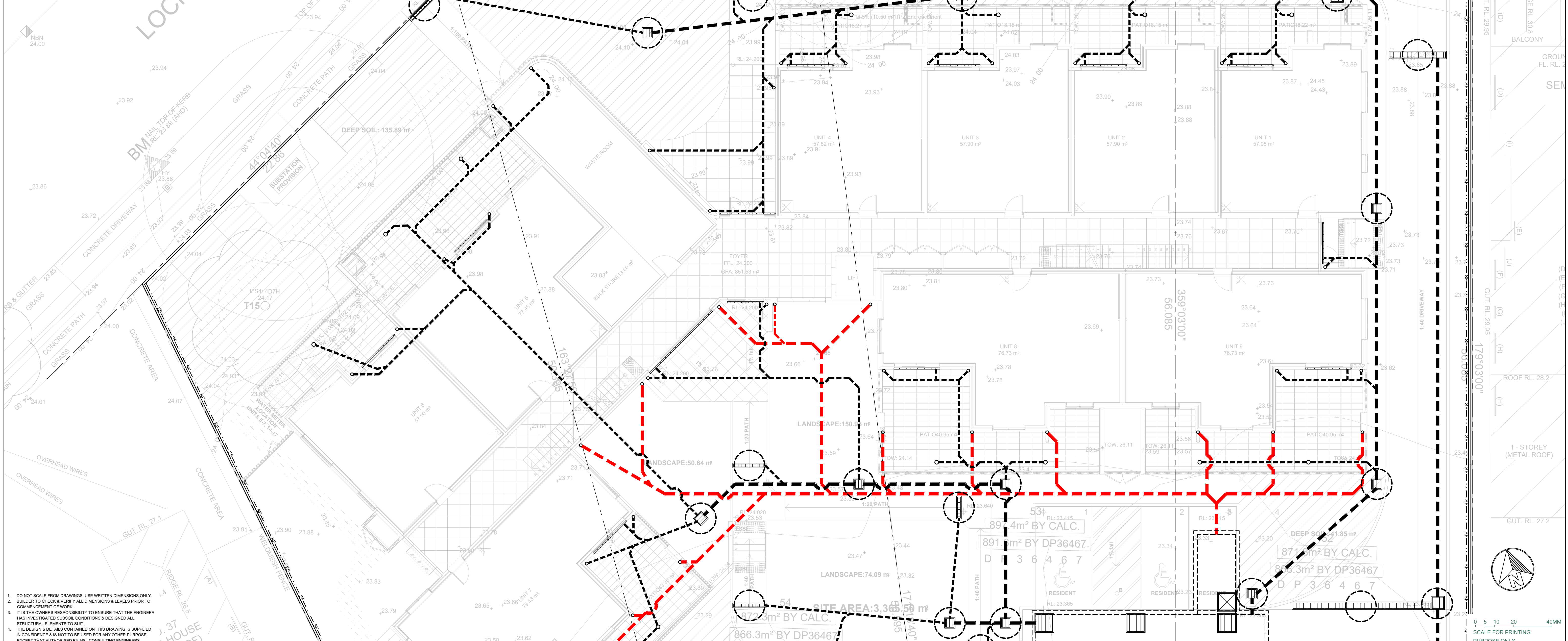
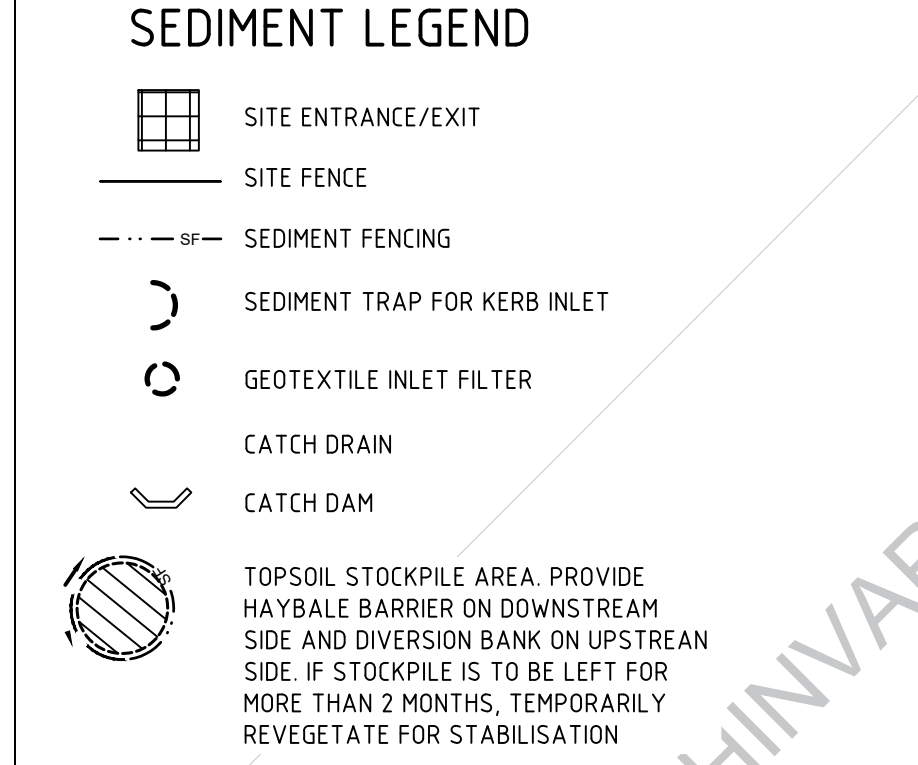
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0 5 10 20 40MM
SCALE FOR PRINTING
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	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dppe.nsw.gov.au/land-and-housing-corporation	MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 165 Suite 102 - 62 Harbour St, Wollongong NSW PO Box 567, Dapto NSW p 02 4221 5247 e info@mslengineers.com.au w www.mslengineers.com.au	PROJECT MANAGER HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247	BUSINESS PARTNER: 	PROJECT: SENIORS HOUSING DEVELOPMENT	TITLE: STORMWATER DETAILS	STATUS: DA ISSUE
			ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5205		at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212	DATE: 04/10/24 SCALE: N.T.S. @ A1 PROJ: BH27J JOB: 23208	
ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712	DRAWN: WT CHECKED: MP REV: B	PLOTTED: 04/10/2024 TYPE: SW SHEET: 11 of 17	FILE:				

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVSBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ????/????		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 1		Drawing No: Sheet 12		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



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www.dpie.nsw.gov.au/land-and-housing-corporation

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ACN 142 291 195
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p 02 4201 0247
e info@mslengineers.com.au
w www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN

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PROJECT MANAGER
HOMES NSW
PH 1800 738 718

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011

ELECTRICAL / BASIS CONSULTANT
GREENVIEW CONSULTING PTY LTD
PH (02) 8544 1683

STRUCTURAL / CIVIL / STORMWATER CONSULTANT
MSL CONSULTING ENGINEERS PTY LTD
PH (02) 4226 0247

HYDRAULIC CONSULTANT
ABEL & BROWN PTY LTD
PH (02) 9709 2106

LANDSCAPE CONSULTANT
RAY FUGGLO & ASSOCIATED PTY LTD
PH 0412 294 712

NSW GOVERNMENT

Homes NSW

PROJECT: SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVSBY NSW 2212

TITLE: SEDIMENT CONTROL PLAN - SHEET 1

FILE:

PLOTTED: 04/10/2024

TYPE: SW

STATUS: DA ISSUE

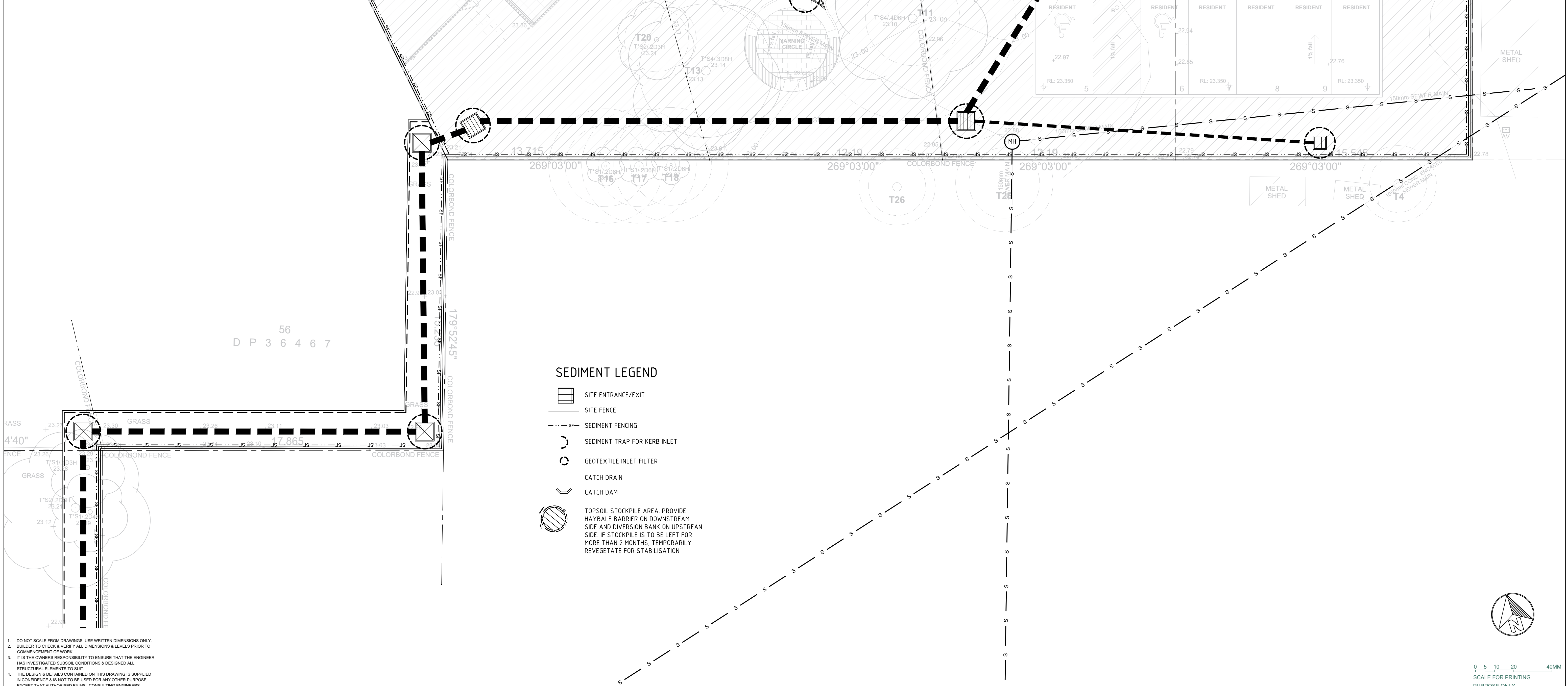
DATE	SCALE	PROJ	JOB
04/10/24	1:100 @ A1	BH27J	23208

STAGE	DRAWN	CHECKED	SERIALIZED
B	WT	MP	MP

SHEET	REV
12 of 17	B

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ????/???		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 2		Drawing No: Sheet 13		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

NO 37 FIBRO HOUSE (TILE ROOF)
 RIDGE RL 28.9
 (A) = window (1.0w + 1.9h) SILL RL 25.4
 (B) = window (1.0w + 1.3h) SILL RL 25.6
 (C) = window (0.8w + 1.3h) SILL RL 25.6

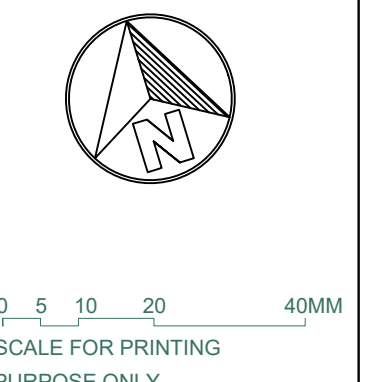


SEDIMENT LEGEND

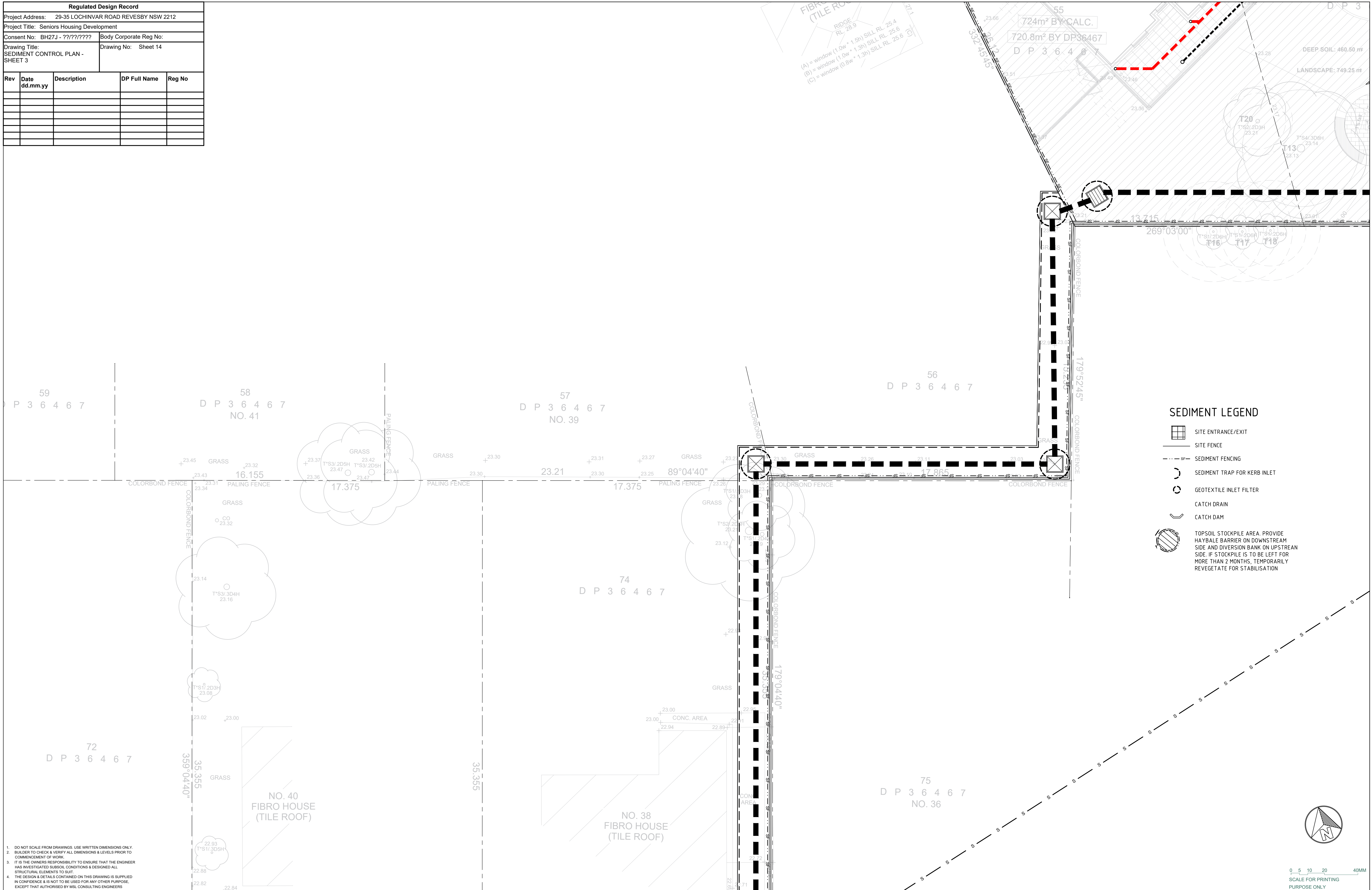
- SITE ENTRANCE/EXIT
- SITE FENCE
- SEDIMENT FENCING
- SEDIMENT TRAP FOR KERB INLET
- GEOTEXTILE INLET FILTER
- CATCH DRAIN
- CATCH DAM
- TOPSOIL STOCKPILE AREA. PROVIDE HAYBALE BARRIER ON DOWNSTREAM SIDE AND DIVERSION BANK ON UPSTREAM SIDE. IF STOCKPILE IS TO BE LEFT FOR MORE THAN 2 MONTHS, TEMPORARILY REVEGETATE FOR STABILISATION

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			ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2100	LANDSCAPE CONSULTANT RAY FUGGLO & ASSOCIATED PTY LTD PH 0412 294 712	DATE 04/10/24	SCALE 1:100 @ A1	PROJ BH27J	JOB 23208	STAGE B
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	DATE 21.05.2024	TYPE SW	SHEET 13 of 17	FILE 04/10/2024	PLOTTED 04/10/2024	REV B	



Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?/??/???		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 3		Drawing No: Sheet 14		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



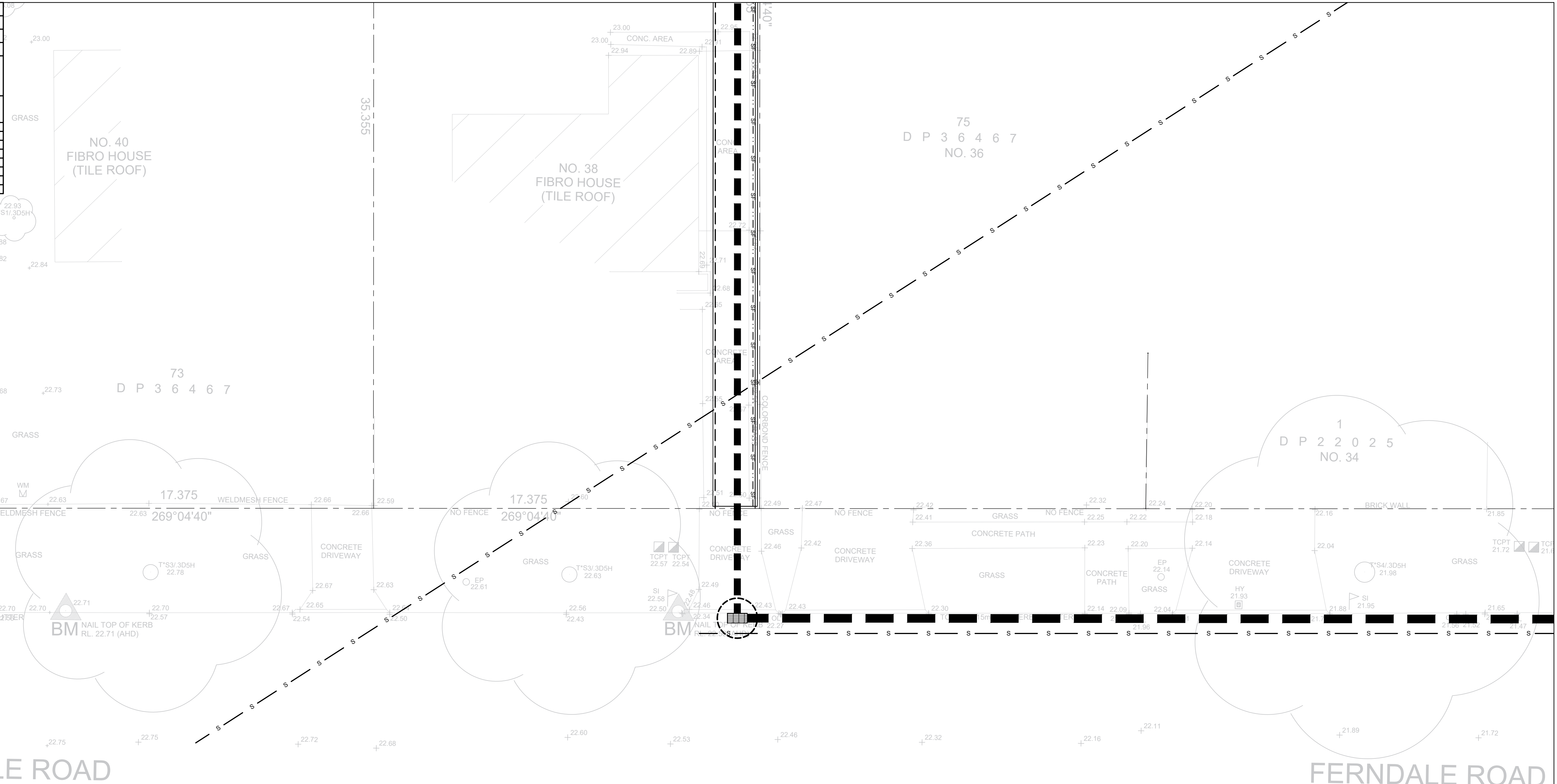
SEDIMENT LEGEND

- SITE ENTRANCE/EXIT
- SITE FENCE
- SEDIMENT FENCING
- SEDIMENT TRAP FOR KERB INLET
- GEOTEXTILE INLET FILTER
- CATCH DRAIN
- CATCH DAM
- TOPSOIL STOCKPILE AREA. PROVIDE HAYBALE BARRIER ON DOWNSTREAM SIDE AND DIVERSION BANK ON UPSTREAM SIDE. IF STOCKPILE IS TO BE LEFT FOR MORE THAN 2 MONTHS, TEMPORARILY REVEGETATE FOR STABILISATION

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			DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	PLOTTED: 04/10/2024	PURPOSE ONLY									

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?/??/???		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 4		Drawing No: Sheet 15		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



SEDIMENT LEGEND

- SITE ENTRANCE/EXIT
- SITE FENCE
- SEDIMENT FENCING
- SEDIMENT TRAP FOR KERB INLET
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 p 02 8201 0247
 e info@mslengineers.com.au
 w www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN

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PROJECT MANAGER
HOMES NSW
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ELECTRICAL / BASIX CONSULTANT
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STRUCTURAL / CIVIL / STORMWATER CONSULTANT
MSL CONSULTING ENGINEERS PTY LTD
 PH (02) 4226 5247

HYDRAULIC CONSULTANT
ABEL & BROWN PTY LTD
 PH (02) 9709 2105

LANDSCAPE CONSULTANT
RAY FUGGLO & ASSOCIATED PTY LTD
 PH 0412 294 712

BUSINESS PARTNER:

PROJECT:
SENIORS HOUSING DEVELOPMENT
 at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
SEDIMENT CONTROL PLAN - SHEET 4

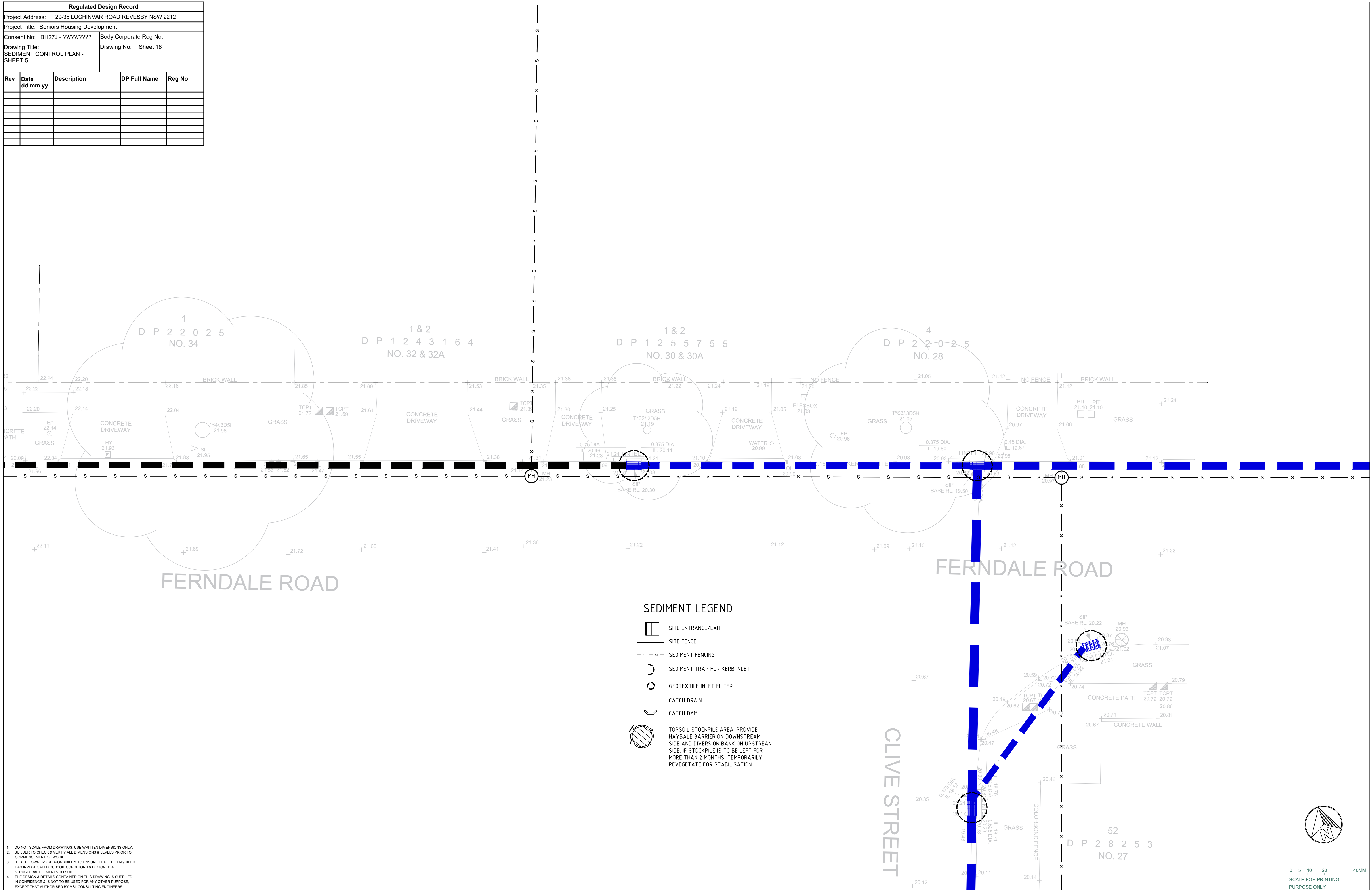
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DATE: 04/10/24
SCALE: 1:100 @ A1
STAGE: B
DRAWN: WT
CHECKED: MP
TYPE: SW
SHEET: 15 of 17
REV: B

FILE:	PLOTTED:	04/10/2024	TYPE:	SW	SHEET:	15 of 17	REV:	B
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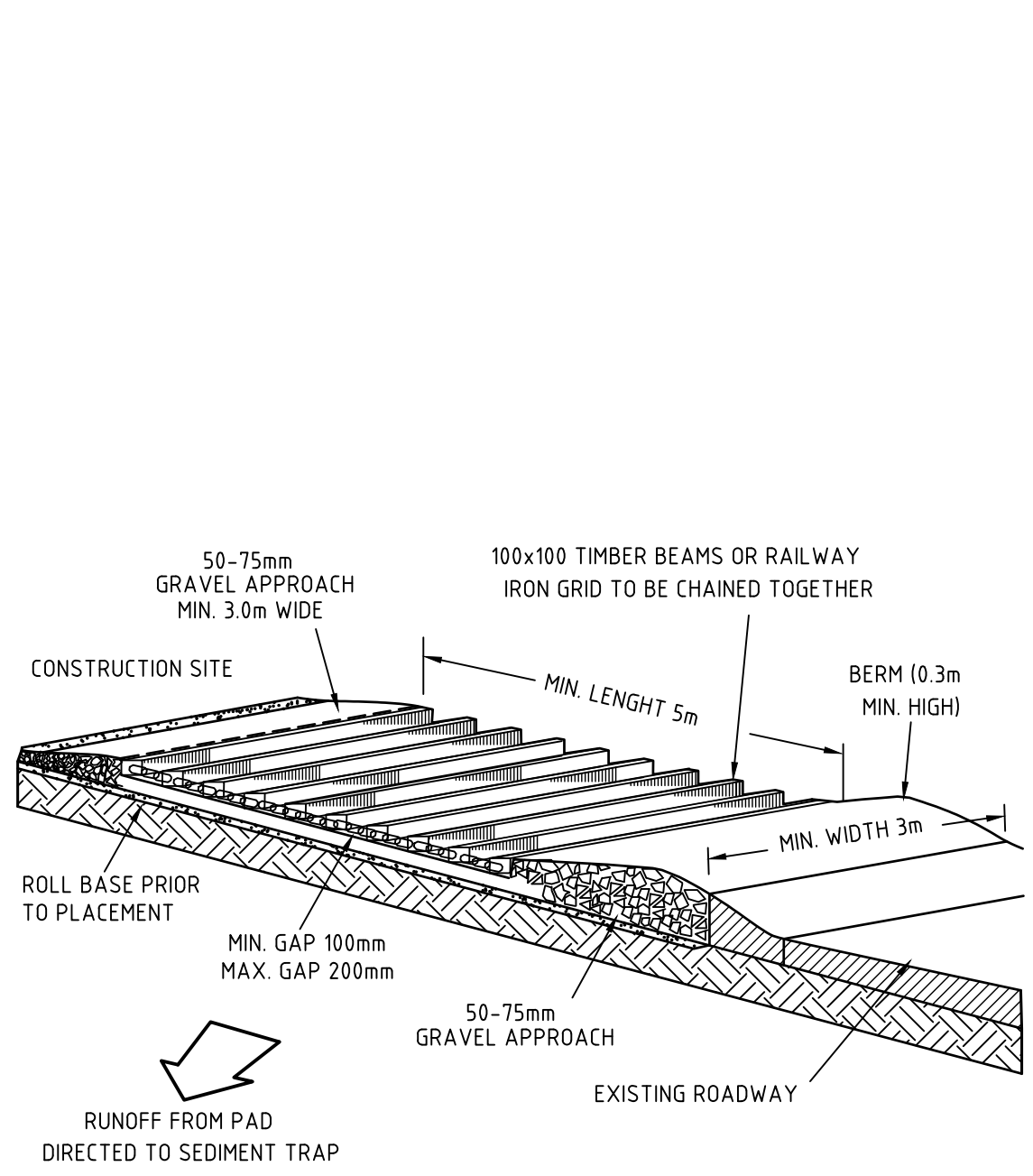
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Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?/??/???		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 5		Drawing No: Sheet 16		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



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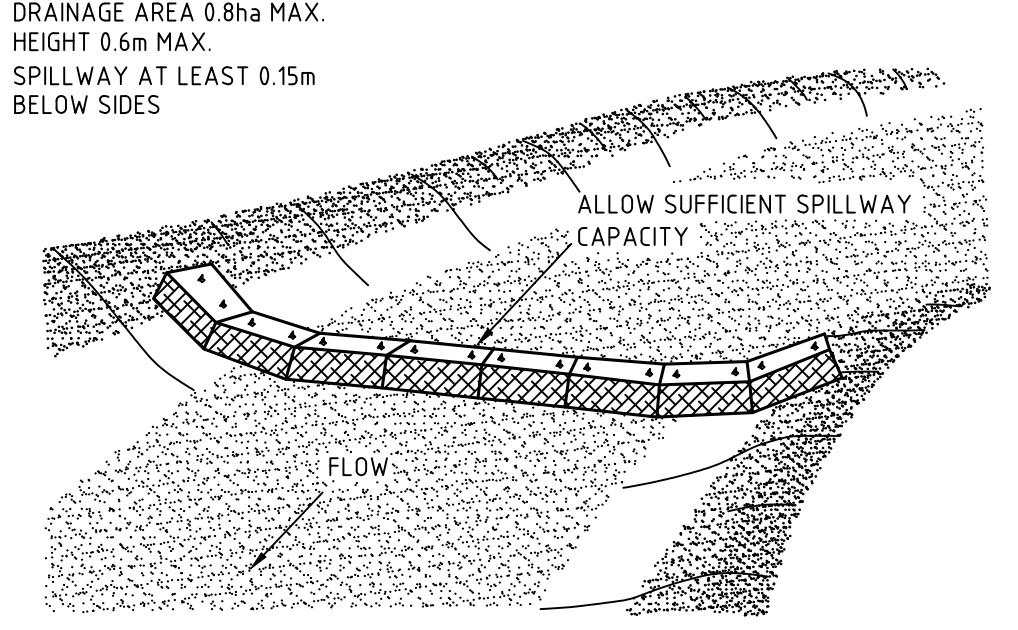
	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation	MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 165 Suite 102 - 62 Harbour St. Wollongong NSW PO Box 567 Dapto NSW p 02 4201 0247 e info@mslengineers.com.au w www.mslengineers.com.au	PROJECT MANAGER HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 0247	BUSINESS PARTNER: 	PROJECT: SENIORS HOUSING DEVELOPMENT at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212	TITLE: SEDIMENT CONTROL PLAN - SHEET 5	STATUS: DA ISSUE
			ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2105		DATE: 04/10/24 SCALE: 1:100 @ A1 PROJ: BH27J JOB: 23208		
ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712	DRAWN: WT CHECKED: MP REV: B	PLOTTED: 04/10/2024 TYPE: SW SHEET: 16 of 17					

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ????/????		Body Corporate Reg No:		
Drawing Title: SEDIMENT & EROSION CONTROL DETAILS		Drawing No: Sheet 17		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



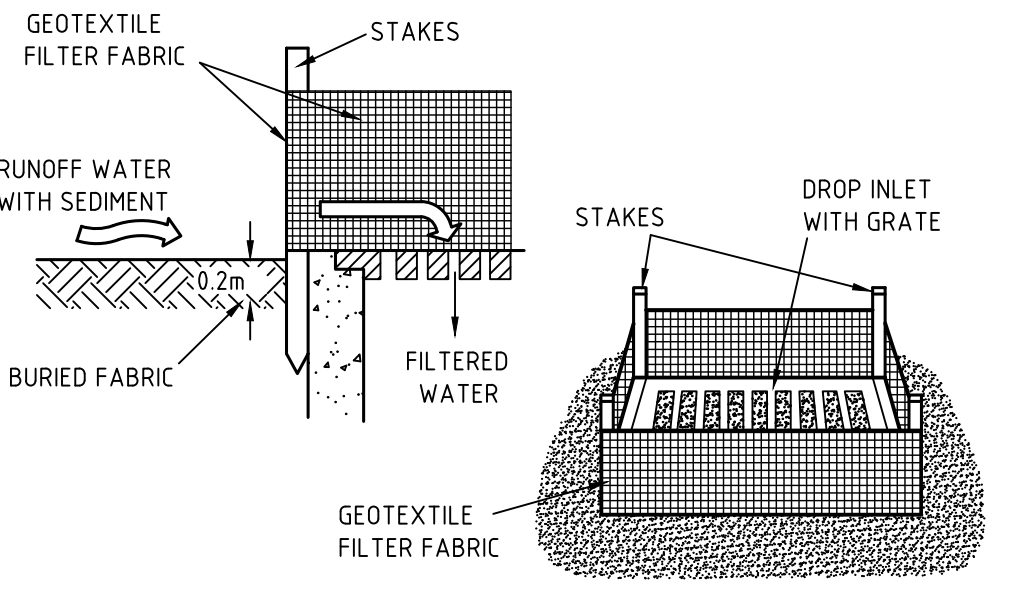
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NOT TO SCALE



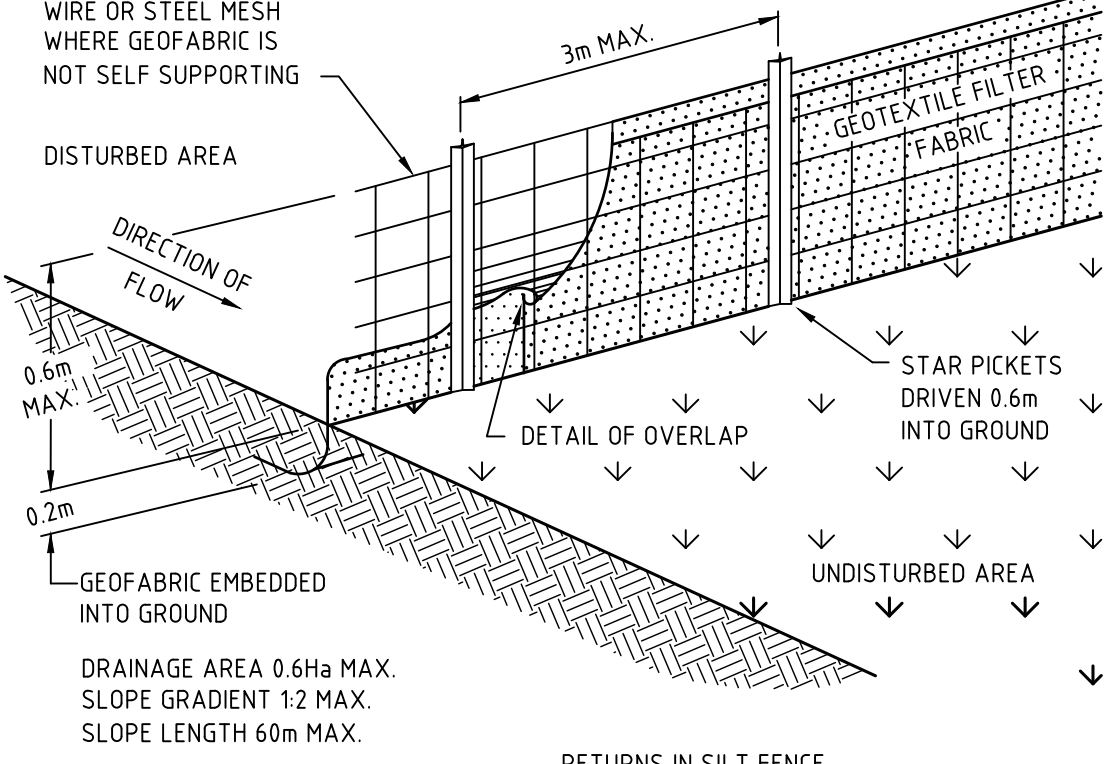
STRAW BALE CHECK DAM

NOT TO SCALE



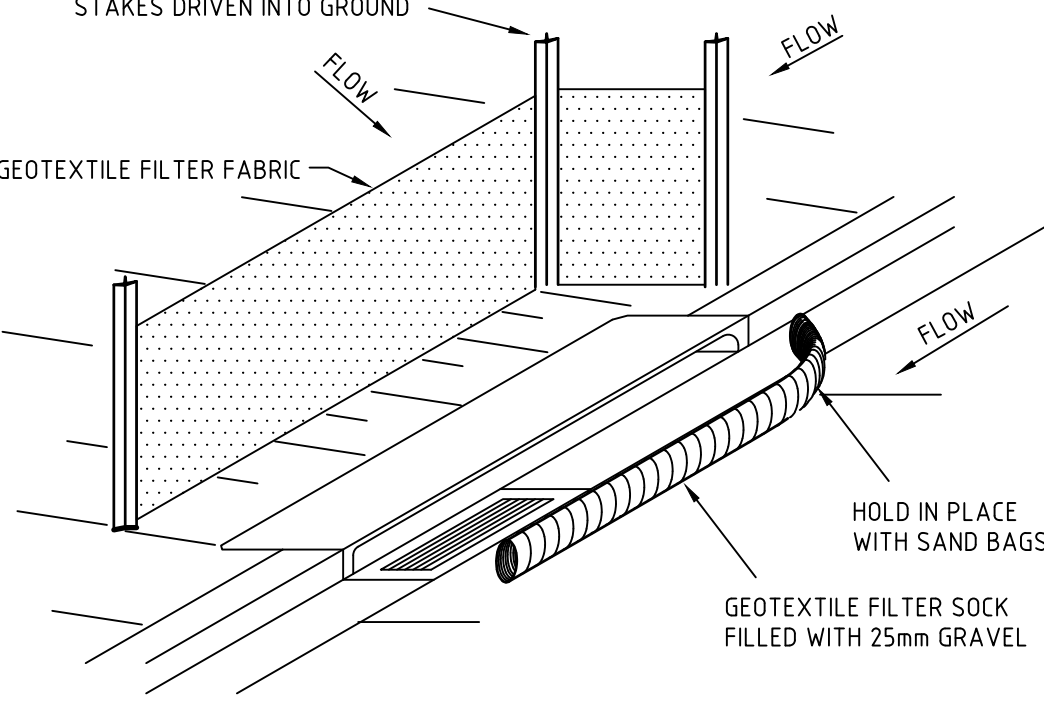
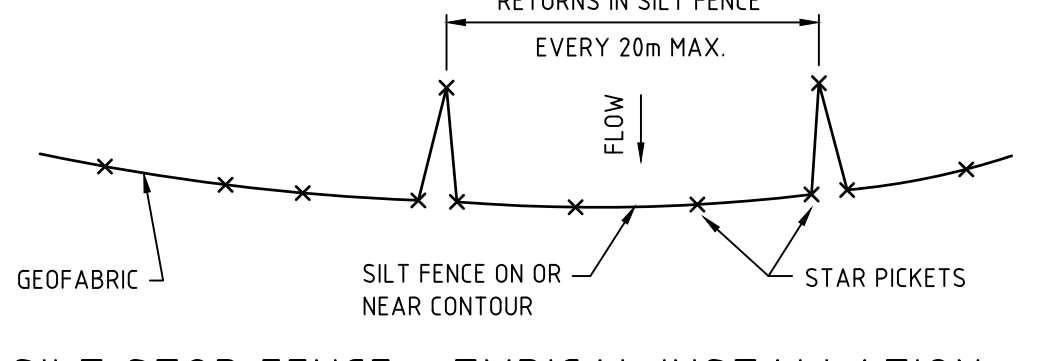
GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

NOT TO SCALE



SILT STOP FENCE - TYPICAL INSTALLATION

NOT TO SCALE



KERB INLET PIT SEDIMENT BARRIER

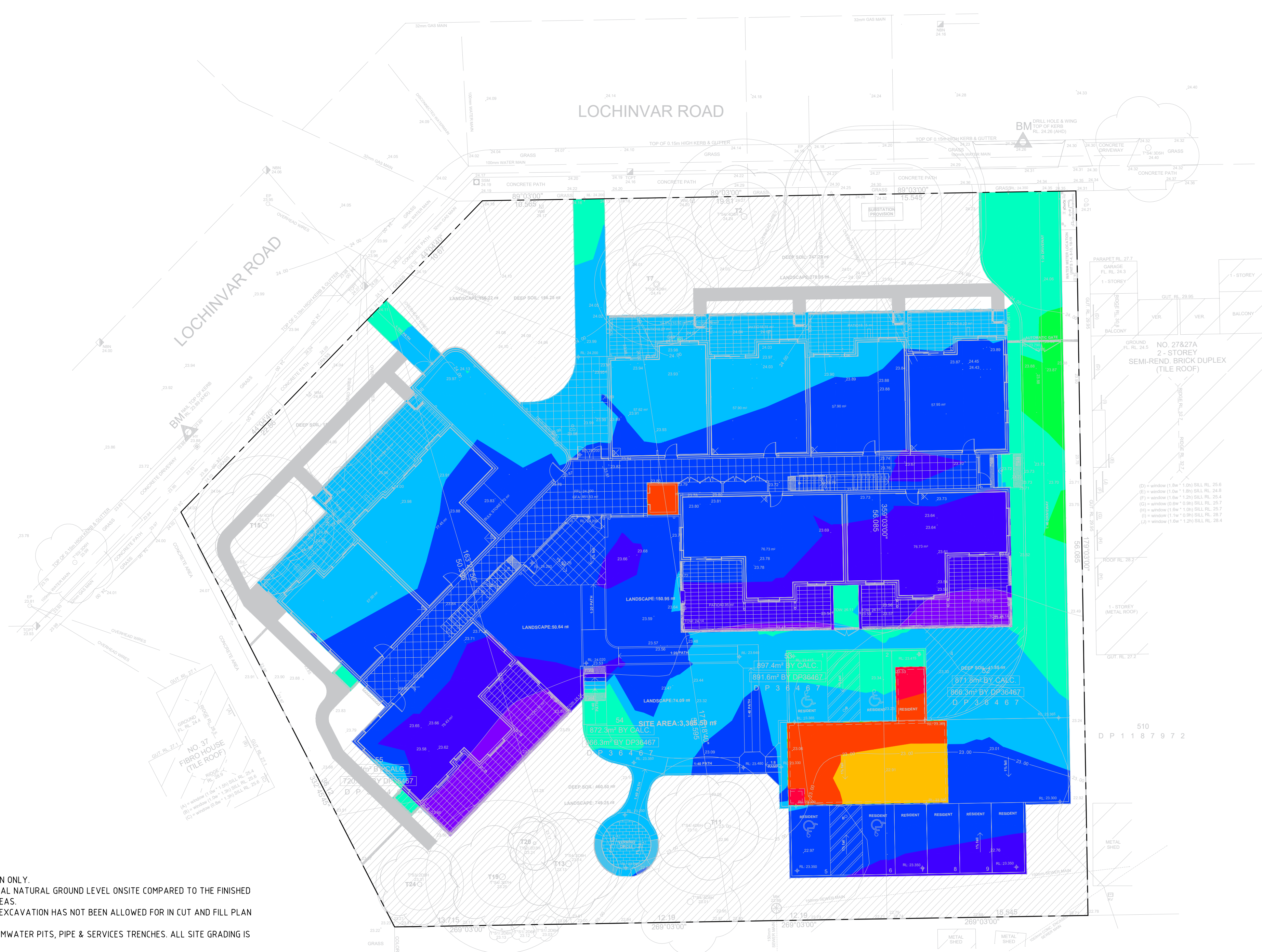
NOT TO SCALE

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			ARCHITECT DTA Architects Pty Ltd PH (02) 9691 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9799 5105		DATE: 04/10/24 SCALE: N.T.S. @ A1 PROJ: BH27J JOB: 23208 STAGE: B DRAWN: WT CHECKED: MP CERTIFIED: MP	
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGOLE & ASSOCIATED PTY LTD PH 0412 294 712	PROJECT: at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212	TITLE: SEDIMENT & EROSION CONTROL DETAILS	FILE:
			PLOTTED: 04/10/2024	TYPE: SW SHEET: 17 of 17 REV: B			

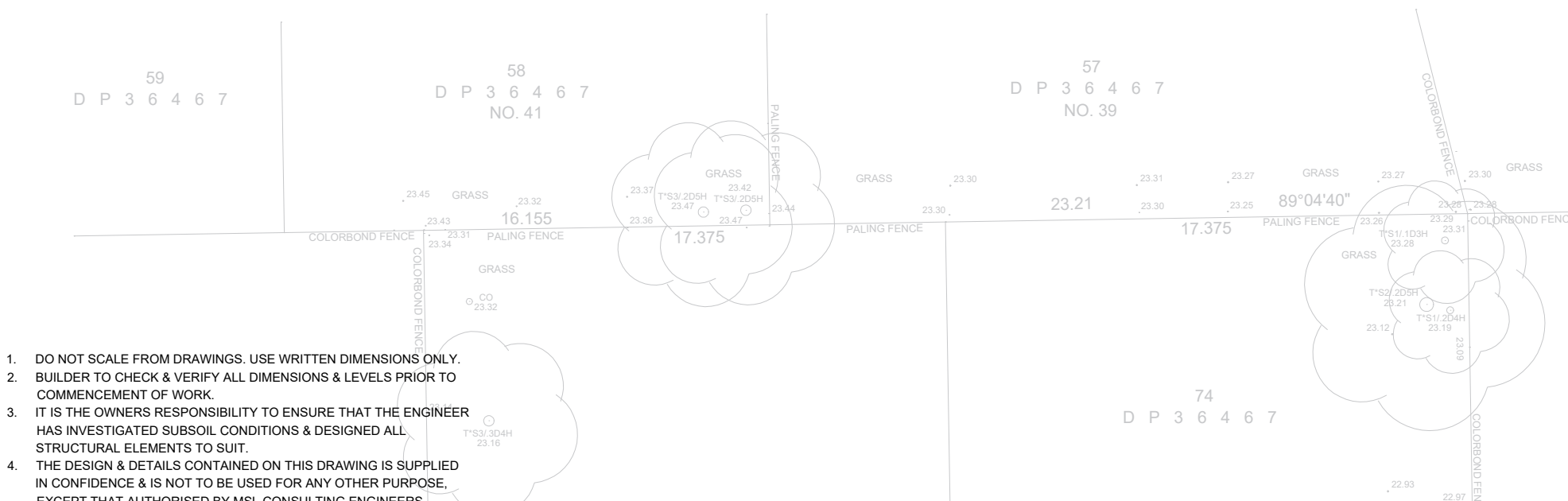
Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ????		Body Corporate Reg No:		
Drawing Title: CUT & FILL PLAN		Drawing No: Sheet 01		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



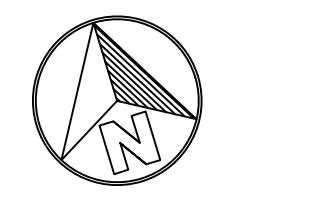
ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.

Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	2D Area (m ²)	Volume (m ³)
1	Red	-1.300	-1.100	7.0	0.4
2	Orange	-1.100	-0.900	50.8	4.7
3	Yellow	-0.900	-0.700	36.7	16.6
4	Light Green	-0.700	-0.500	0.1	18.9
5	Green	-0.500	-0.300	0.1	18.9
6	Light Blue	-0.300	-0.100	29.3	19.4
7	Blue	-0.100	0.100	219.7	208.9
8	Dark Blue	0.100	0.300	692.8	316.3
9	Very Dark Blue	0.300	0.500	811.5	148.9
10	Purple	0.500	0.700	277.3	36.3
11	Dark Purple	0.700	0.900	70.4	4.7

- ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.
- CUT/FILL ELEVATIONS SHOWN COLOURED ARE THE CUT/FILL LEVEL DIFFERENCE BETWEEN ORIGINAL NATURAL GROUND LEVEL ONSITE COMPARED TO THE FINISHED CUT OR FILL BULK EXCAVATION LEVEL UNDER SLABS AND TOP OF LANDSCAPING/COMMUNAL AREAS.
- BORED PIERS, STRIP FOOTINGS, RETAINING WALL FOOTINGS & UNDERGROUND RAINWATER TANK EXCAVATION HAS NOT BEEN ALLOWED FOR IN CUT AND FILL PLAN (BUILDER TO CONFIRM ONSITE).
- CONTRACTOR TO ALLOW FOR ANY ADDITIONAL EXCAVATION. CONTRACTOR TO ALLOW FOR STORMWATER PITS, PIPE & SERVICES TRENCHES. ALL SITE GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CUT AND FILL MAY VARY ON SITE DUE TO SITE CONSTRUCTION WORKS SUCH AS PIPE TRENCHING AND CONSTRUCTION SEQUENCES.



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			ARCHITECT DTA Architects Pty Ltd PH (02) 9651 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5700		at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212	DATE 22/07/24	SCALE 1:200 @ A1
ELECTRICIAN / BASK CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712	STAGE B	DRAWN WT	CHECKED MP	SHEET 1 of 1	REV. A	FILE	PLOTTED: 22/07/2024